

# ZONING ORDINANCE

## *19 Attachment 1*

### **Chapter G-08**

#### **Residential Design Guidelines**

##### **Topics:**

- G-08.010 Purpose.
- G-08.020 Applicability.
- G-08.030 Single-Family Housing – Infill Development.
- G-08.040 Single-Family Housing – Additions and Alterations.
- G-08.050 Multi-Family Housing.
- G-08.060 Residential Walls, Fences and Hedges.

##### **G-08.010 Purpose.**

The residential design guidelines are intended to assist in preserving and rehabilitating the houses and other residential buildings within West Hollywood neighborhoods. The guidelines are also intended to provide for infill residential development of high architectural quality that is compatible with existing development, to promote the conservation and reuse of existing residences, and to preserve the unique character of the city's neighborhoods. In general, preservation and rehabilitation efforts should protect the architectural features of a residential building that identify its individual style and contribute to the character of the area.

##### **G-08.020 Applicability.**

- A. The design guidelines in this chapter will be applied as part of the review of residential projects (additions, remodeling, relocation, or new construction) through the Design Review process (Chapter 19.46) or discretionary land use permit process. The design elements of each project (including site design, architecture, landscaping, signs, and parking design) will be reviewed on a comprehensive basis. Design guidelines in other chapters of this Zoning Ordinance dealing with signs, landscaping, and parking shall also be addressed whenever applicable.
- B. The review authority may interpret these design guidelines with some flexibility in their application to specific projects, as not all design criteria may be workable or appropriate for each project. In some circumstances, one guideline may be relaxed to facilitate compliance with another guideline determined by the review authority to be more important in the particular case. The overall objective is to ensure that the intent and spirit of the design guidelines are followed.

##### **G-08.030 Single-Family Housing – Infill Development.**

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- A. Applicability of infill development guidelines. The guidelines in this section apply to single-family houses that constitute "infill developments"; that is, houses which entirely replace existing units or are constructed on vacant parcels.
- B. General principles. Infill residential development should be compatible in scale, siting, detailing and overall character with adjacent buildings and those in the immediate neighborhood. This is crucial when a new or remodeled residence is proposed to be larger than others in the neighborhood. When new residential structures are developed adjacent to older single family residences, the height and bulk of the new construction can have a negative impact on adjacent, smaller scale buildings.

Houses should not only be compatible with the character of existing development in the neighborhood, but should also possess a well-developed "personality" and have integrity as design objects in their own right. Good architecture involves the creation of meaningful relationships between all the forms, materials, detailing, siting and window and door openings in a building. Meaningful architectural relationships can take many forms.

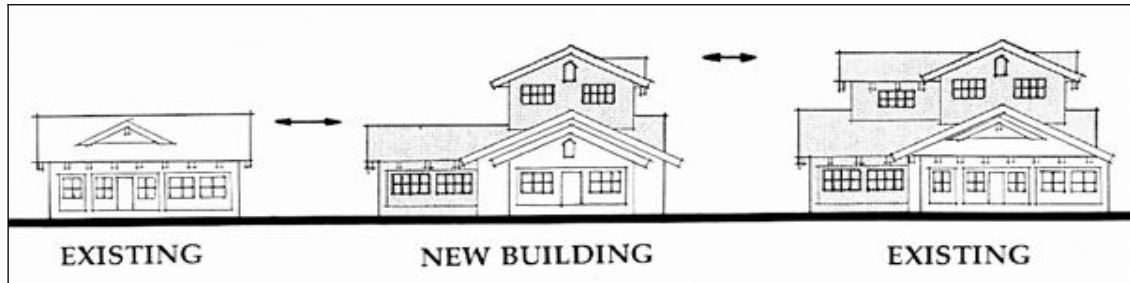
Design review is not intended to dictate a particular style or ambiance. It is intended to make sure that the design is fully committed and that all the potential for the creation of meaningful relationships has been fully realized. In a good residential design, there are meaningful relationships between all the components and aspects of a building such as forms, materials, detailing, siting and window and door openings. Some examples are common window and door heights, the acknowledgment of special conditions with individual features or detailing such as corners or entrances, and the ordering of elements of greater and lesser importance into a hierarchy.

Residential development should continue existing patterns of functional, on-site relationships in the surrounding neighborhood. For example, common residential patterns that should be continued in West Hollywood are front porches and entries facing the street, and garages located at the rear of the parcel.

Front yard setbacks for residential infill development should match the existing setback patterns of surrounding dwellings (see setback requirements for residential zones in Article 2).

- C. Building design/architecture. Infill residential structures should incorporate the traditional architectural characteristics of existing residences in the surrounding neighborhood. These architectural characteristics include: window and door spacing, exterior materials, roof style and pitch, finished-floor height, porches, decoration, and detail.
  - 1. Visual impacts from building height. Infill residential structures in West Hollywood neighborhoods may in some cases be taller and larger than surrounding existing houses, and the height and bulk of these infill structures may thereby overpower smaller adjacent residences. The height of infill residential structures should, therefore, be considered within the context of surrounding residential structures. In some cases, it may be appropriate for infill residential structures with greater height to step back above the first story to reduce impacts on adjacent smaller homes.

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Infill single-family home is designed to set back its upper story where adjacent to an existing one-story home, to create an appropriate transition

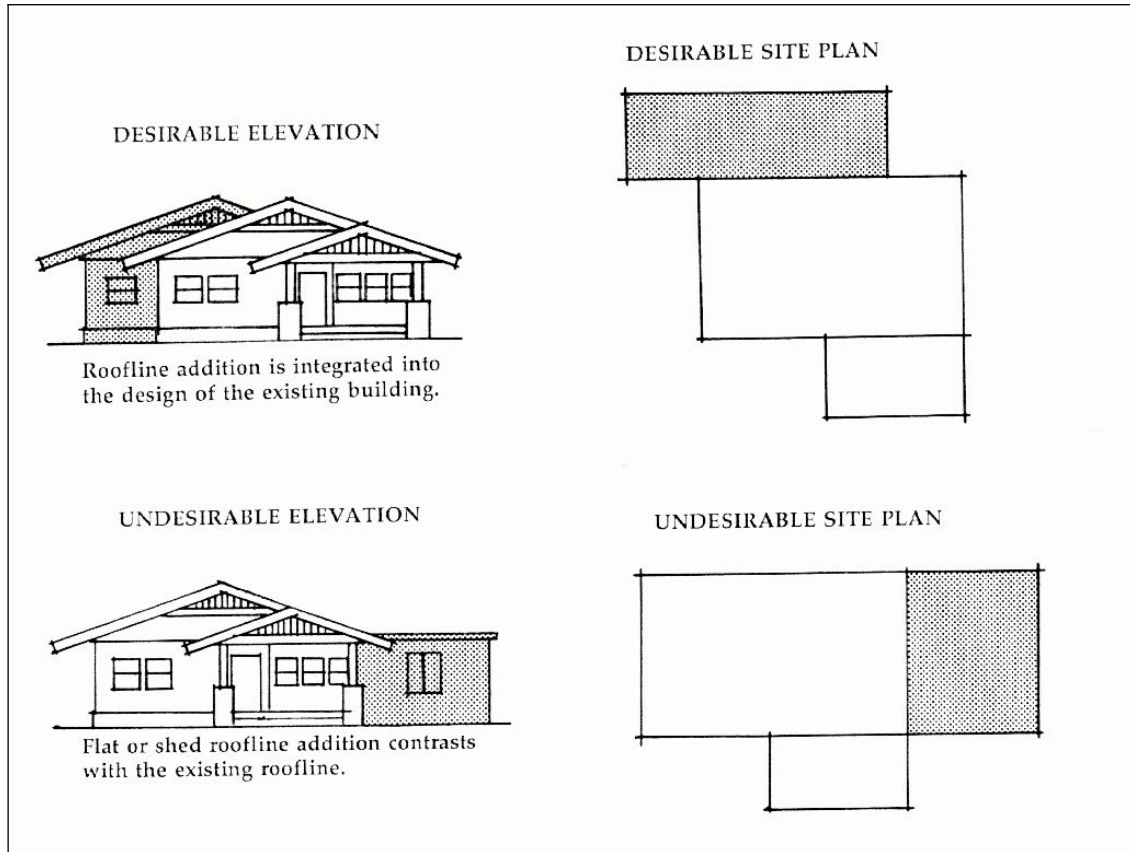
**FIGURE RD-1**  
**Appropriate Infill Building Massing**

2. Outdoor living areas. The incorporation of balconies verandahs, porches, and courtyards within the building form of infill structures is strongly encouraged.
3. Exterior finish materials. The thoughtful selection of building materials can enhance desired neighborhood qualities such as compatibility, continuity, and harmony. The design of infill residential structures should incorporate an appropriate mixture of the predominant materials found in the neighborhood. Common materials in West Hollywood are stucco, wood, horizontal clapboard siding and occasionally, shingles or brick.
4. Exterior colors. Color schemes for infill residential structures should consider the color schemes of existing residences in the surrounding neighborhood in order to maintain compatibility and harmony.

### **G-08.040 Single-Family Housing – Additions and Alterations.**

- A. Applicability of guidelines for additions and alterations. The guidelines in this section apply to additions to, and the rehabilitation, remodeling, and alteration of existing single-family houses. While these guidelines apply to all residential buildings in West Hollywood, buildings that are designated as cultural resources are subject to stricter standards. All exterior work on cultural resources requires a certificate of appropriateness. See Chapter 19.58 (Cultural Heritage Preservation).
- B. Additions. Additions to residential structures built before 1950 should respect the character, detailing, scale and composition of the original building. Modifications (e.g., additions, seismic strengthening, replacement of windows or siding material, and new entrances) should not compromise the integrity of historically valuable features, materials, or finishes. Additions should also be designed with respect to adjacent residences so as to promote compatibility.

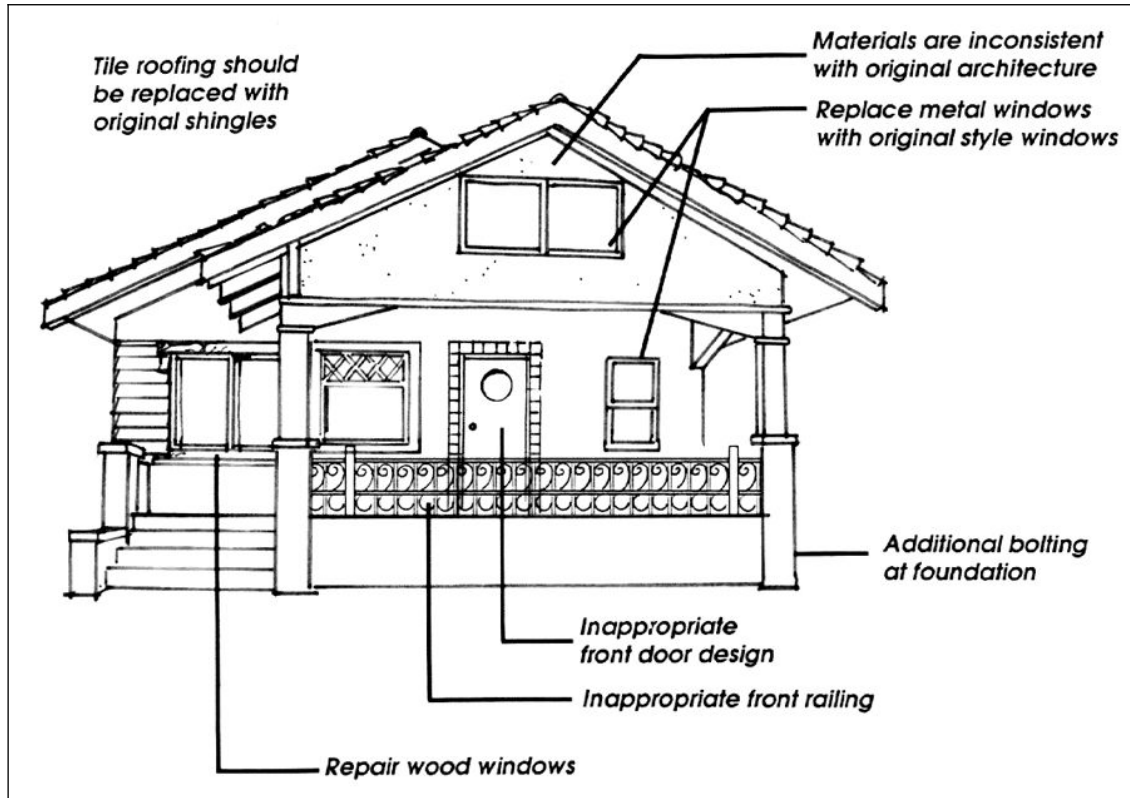
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**FIGURE RD-2**  
**Additions to Existing Homes**

1. **Roof changes.** The roof of a residential structure, especially its style, materials and pitch, is an important architectural element that must be taken into consideration when planning an addition. The roof style, pitch and materials on the addition should match the original.
  2. **Additional floors.** Adding a story to an existing residential structure always changes building proportions and should be carefully designed to follow similar multi-story examples of that particular architectural style found in the neighborhood. In some cases, integrating the new story addition may require that it be set back or "stepped" back from the front façade so that it is less noticeable from the street (public right-of-way).
- C. **Alterations – Restoration and remodeling.** The rehabilitation of older buildings should aim to retain and restore their original elements. If damage or deterioration is too severe, the element should be recreated using original materials to match the design, color, texture and any other important design features.

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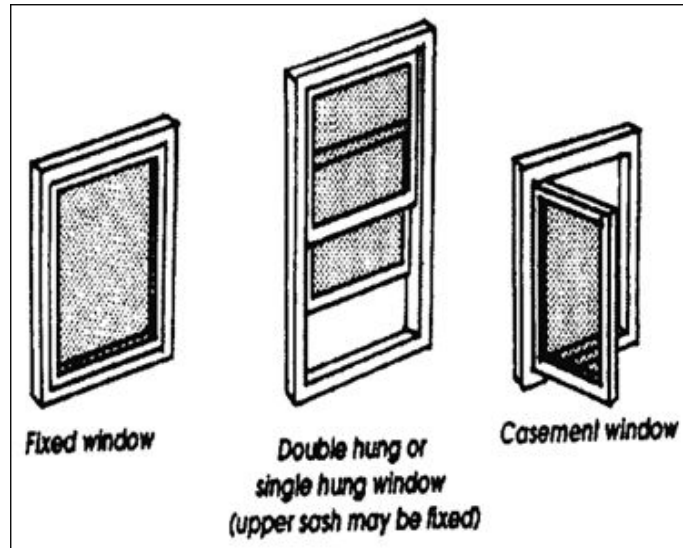


**FIGURE RD-3**  
**Remodeling Features**

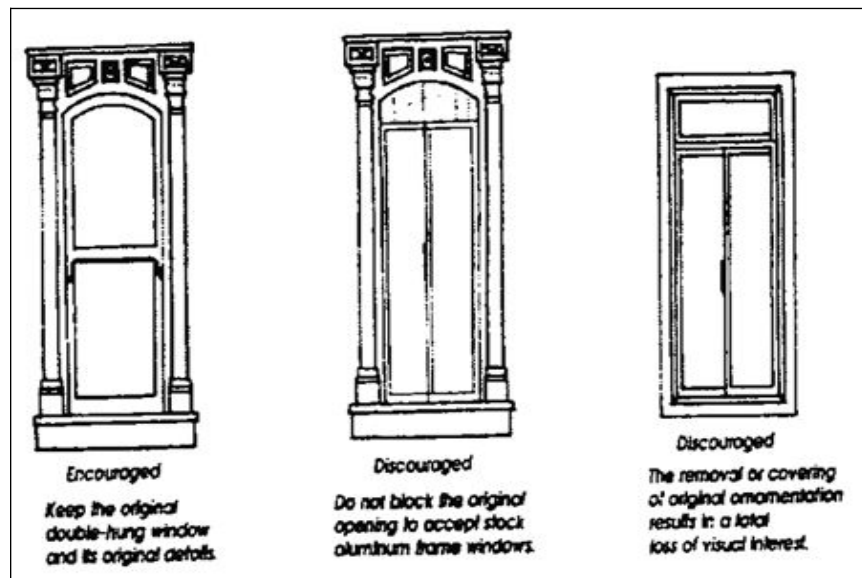
When replacement is necessary and materials similar to or consistent with original materials cannot be obtained, substitute materials should incorporate design, colors and textures that convey the traditional appearance of the original material.

- D. Exterior materials. Original exterior building materials should be retained whenever possible. Mismatched materials of different sizes, shapes, textures, or finishes should be avoided.
1. Wood siding. Residential buildings with original wood clapboard siding should not be stuccoed in an attempt to "modernize" their appearance.
  2. Brick surfaces. Brick surfaces should not be sandblasted in an attempt to remove old paint, nor should they be stuccoed over. Sandblasting will damage the natural fired surface of the brick and cause it to lose its water repellent qualities. Paint should be removed by chemical stripping. Brick that was not intended to be painted as part of a building's original design should not be painted over.
- E. Windows. Historically, most older residential structures had wood-framed windows that were either fixed, double hung, or casement. The size, shape and style of windows are important architectural features, and the original type window should be used again when window replacement is necessary, or additional windows are installed. It is strongly recommended that aluminum frame windows not be used as replacements on any part of a residential structure, except where they were part of the original design.

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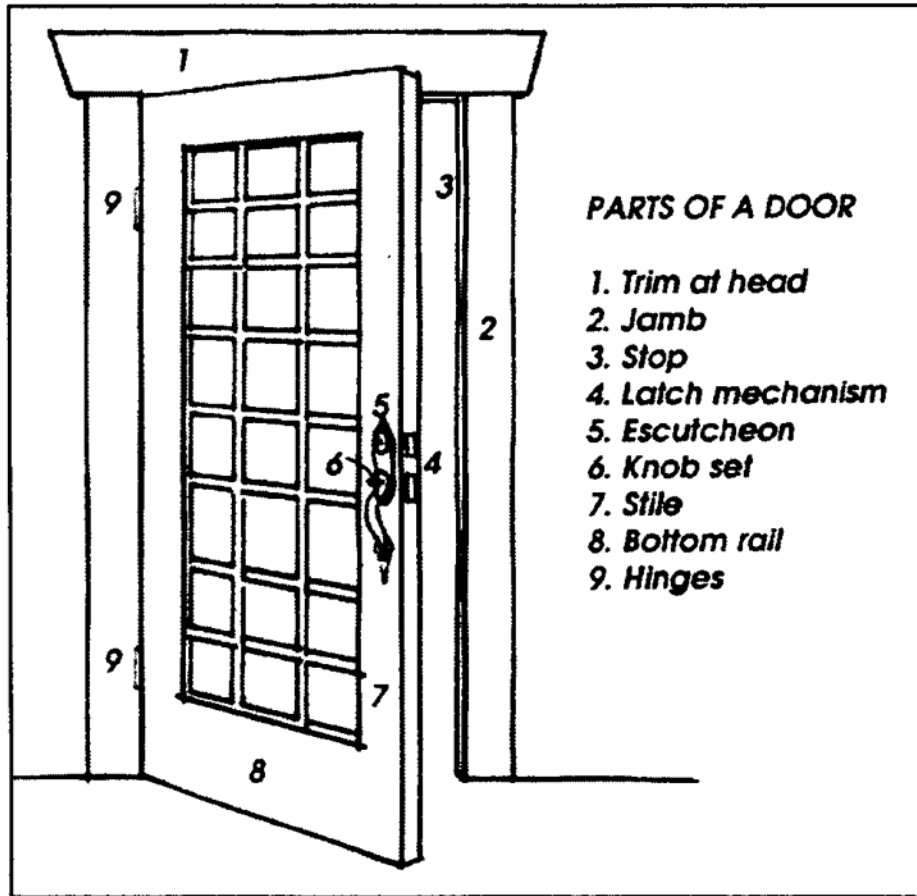
**FIGURE RD-4**  
**Window Types**



**FIGURE RD-5**  
**Window Treatment**

- F. Doors. Historically, houses had solid wood doors that fit the particular architectural style of the building. The front door was typically the most ornate, with secondary doors usually more utilitarian in appearance. The size, shape and style of doors is an important feature of all historical architectural styles and the original type and design should be used again.

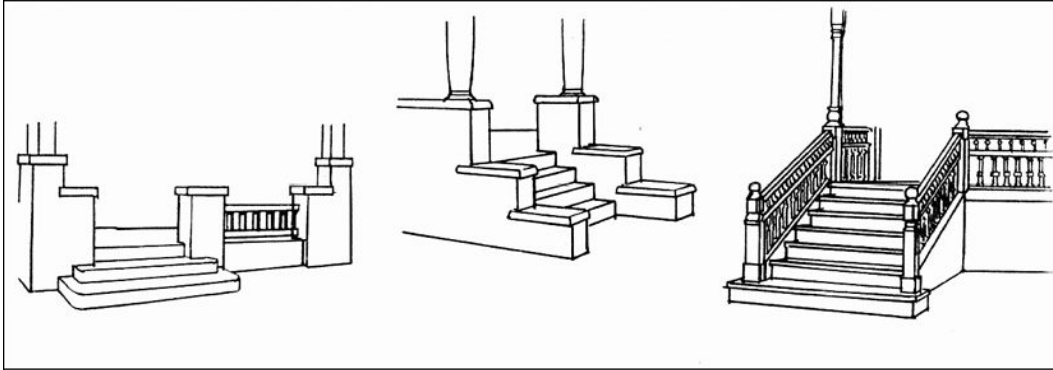
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**FIGURE RD-6  
Door Features**

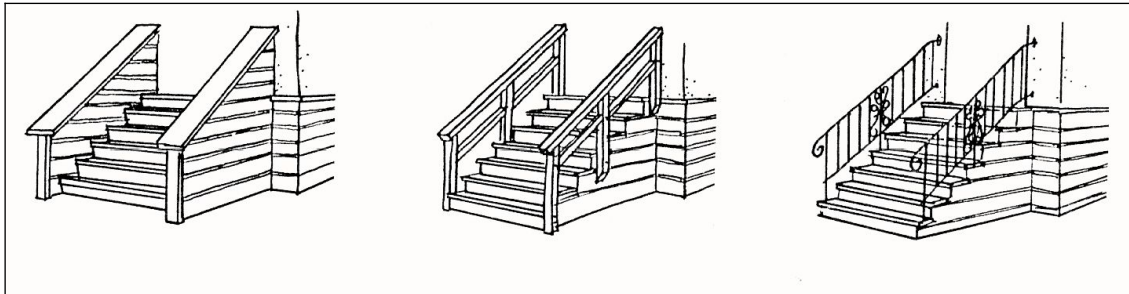
If the original door is missing, an appropriate design should be selected through the study of the doors of similar residential structures in the neighborhood, or by consulting books on architectural styles. Many older-style panel doors are still available from material suppliers, and may closely match original doors.

- G. Porches and stairs. During rehabilitation efforts, the design integrity of the front porch should not be compromised. The installation of wrought iron or aluminum railings should be avoided, as a change in the structural or decorative elements of the front porch will usually compromise the original architectural integrity of the entire building. The restoration of an older building's architectural integrity may require undoing previous alterations to the porch.



**FIGURE RD-7**  
**Appropriate Front Porch And Stair Designs**

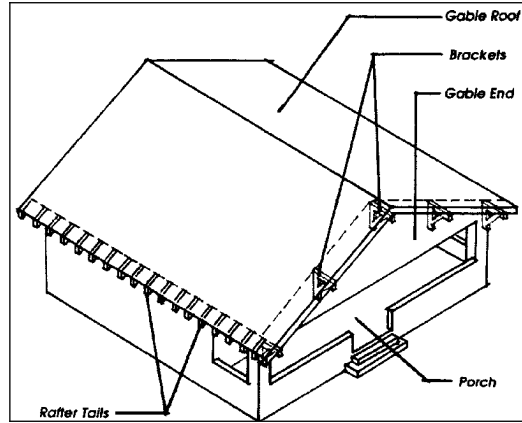
The stairs leading to a front porch are an integral part of the overall style of the building. When stairs require rehabilitation, they should be rebuilt according to the style of the building. The use of off-the-shelf, ready-made wrought iron or aluminum railings should be avoided.



**FIGURE RD-8**  
**Inappropriate Front Porch and Stair Designs**

- H. Ornamentation and trim. The authentic decoration and trim of a residential structure lends character and identifies the building with a particular architectural style. Great care should be taken in handling these materials during renovation because they are critical components.
- I. Roofs. Great care should be taken to ensure that roofs are water-tight and that roofing materials are compatible with the original style of the structure. When replacement is necessary, roofing materials should be selected that are appropriate to the building's architectural style.

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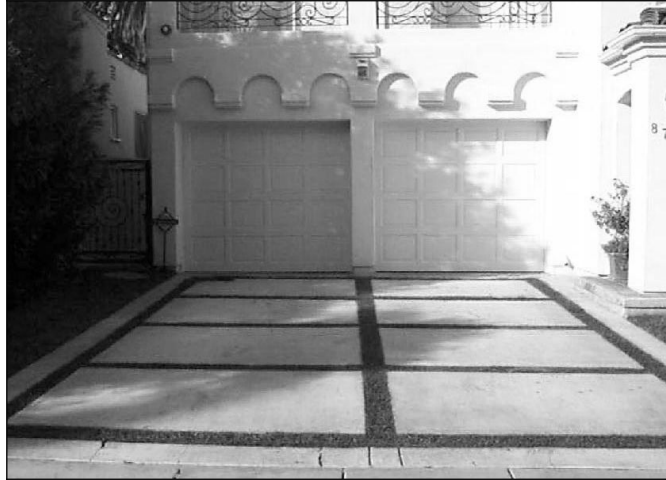
**FIGURE RD-9  
Roof Features**

- J. Paving, driveways. Materials such as gravel, decomposed granite, grass strips or grass-concrete add character to a driveway and help reduce runoff from the property into the storm drains.

Driveways and vehicle maneuvering areas should also be separated into sub-areas through the use of materials including integral color concrete, slate, brick or by areas of permeable surface. These sub-areas may be used to denote entrances, act as forecourts, or serve as foreground for adjacent landscaped areas.



**FIGURE RD-10  
Consider Designing Driveways With Grass Strips**



**FIGURE RD-11**  
**Integrate a Mix of Surface Materials**

### **G-08.050 Multi-Family Housing.**

Multi-family buildings in West Hollywood should contribute to the sense of community in their neighborhoods by being carefully designed to relate to the scale and form of adjacent properties, and by incorporating street frontage features that create architectural and landscape interest for the pedestrian and neighboring residents.

The design guidelines for multi-family residences are aimed at maintaining neighborhood compatibility with lower density dwellings. Multi-family housing is characterized by increased parking area, bulkier structures, and less private open space. If not properly designed, higher density developments can decrease the aesthetic quality of West Hollywood neighborhoods. The following guidelines are intended to foster quality developments and to provide a pleasant residential environment within the context of higher density.

- A. Site features.
  - 1. General principles.
    - a. Building and dwelling unit orientation. Multi-family buildings and individual dwelling units should be oriented either to the street, to interior courtyard or garden spaces on the site, or both.

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**FIGURE RD-12**  
**Orientation to Street**

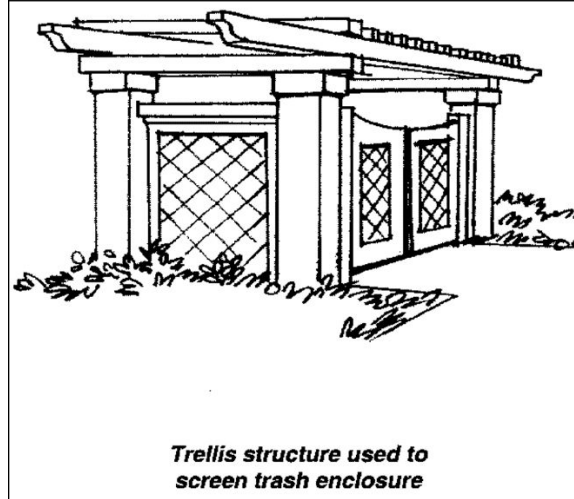
- b. Neighborhood features. Residential development should respect the character of existing properties in the immediate area through the use of similar setbacks, building arrangements, buffer yards, and the avoidance of overwhelming building scale and visual obstructions such as privacy walls, carports and garages.
- c. Landscaping. New landscaping should compliment existing landscape materials, location and massing on adjacent established developments where appropriate.
2. Open space. Buildings should be oriented to:
  - a. Create courtyards and other usable open space areas, thus increasing the aesthetic appeal of the area;
  - b. Provide a series of public spaces for recreation and general open space; and
  - c. Take advantage of prevailing breezes and the position of the sun to provide natural lighting and ventilation.
3. Pedestrian access.
  - a. Building entries. Courtyard doors or gates at multi-family building entries should be attractively designed as an important architectural feature of the building or complex.
  - b. Stairways. Exterior stairs from a plaza or an entrance from the street can be an attractive architectural feature
4. Parking and circulation.
  - a. Visual impact of parking. The adverse visual impacts of parking areas and garage openings on the residential character of the street should be minimized. Some examples of these impacts are: blank walls, garage doors, parking facilities, and driveway openings along street frontages.
  - b. Driveway location. Whenever possible, locate access driveways on side streets. When this is not possible, design the main site entry with patterned concrete or pavers to differentiate it from the public sidewalk.
  - c. Entry treatment. Special accents should be used at site entries. Monumental articulation of the building or appropriately scaled art, ornamental features,

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decoration, special textured paving, flowering accents, walls, shrubs, and the use of specimen trees should be used to generate visual interest at entry points.

- d. Carports, garages, and accessory structures. Carports, detached garages, and accessory structures should be designed as an integral part of project architecture. They should be similar in materials, color, and detail to the principal buildings of a development. Fabric and prefabricated metal carports are prohibited. Carports may be designed as pergolas as long as they are designed and planted in such a way that the vine will act as a full coverage "roof" for the structure.
  - e. Landscaping. Parking courts should be treated as "landscaped plazas" with attention to landscape surfaces, softened edges, shade and articulated pedestrian and vehicular circulation. They should be treated as an important public space whose character is clearly and coherently delineated by the landscaping, lighting, and building massing that surrounds it.
  - f. Pedestrian connections. The parking area should be designed in a manner which links it to the building and street sidewalk system as an extension of the pedestrian environment. This can be accomplished by using design features such as walkways with enhanced paving, trellis structures, and landscaping treatment. The path of travel from the front entrance to the project and from the parking garage to the front doors of the units should run through common open space and, ideally, through an open courtyard.
  - g. Paving materials. Open-air driveways and other outdoor vehicle-maneuvering areas, excluding areas over structure, should have some permeable surface using materials such as gravel, decomposed granite and cement or grass-crete. The parking surface should be broken up into sub-areas by the use of materials such as integral color concrete, slate, brick or by areas of permeable surface. These sub-areas may be used to denote entrance, act as forecourts or serve as the foreground area for adjacent landscaped areas.
5. Other design issues.
- a. Screening features. Walls and other screening features should be constructed of the same or similar materials and finishes as the adjacent building, or of complementing materials, and should be designed and placed to complement the building design.
  - b. Screening of storage areas. Storage areas should be completely screened from ground level view using appropriate materials such as solid shrub massing or wood walls.
  - c. Trash disposal areas. Trash bins must be located within a masonry structure or other approved solid trash enclosure (see Zoning Ordinance). The enclosure should be finished using materials compatible with the surrounding architecture, and should be softened with landscaping. Gates should be solid metal painted to match adjacent buildings. Recommended enclosure locations include inside parking courts, or at the end of parking bays. Location should be conveniently accessible for trash trucks.

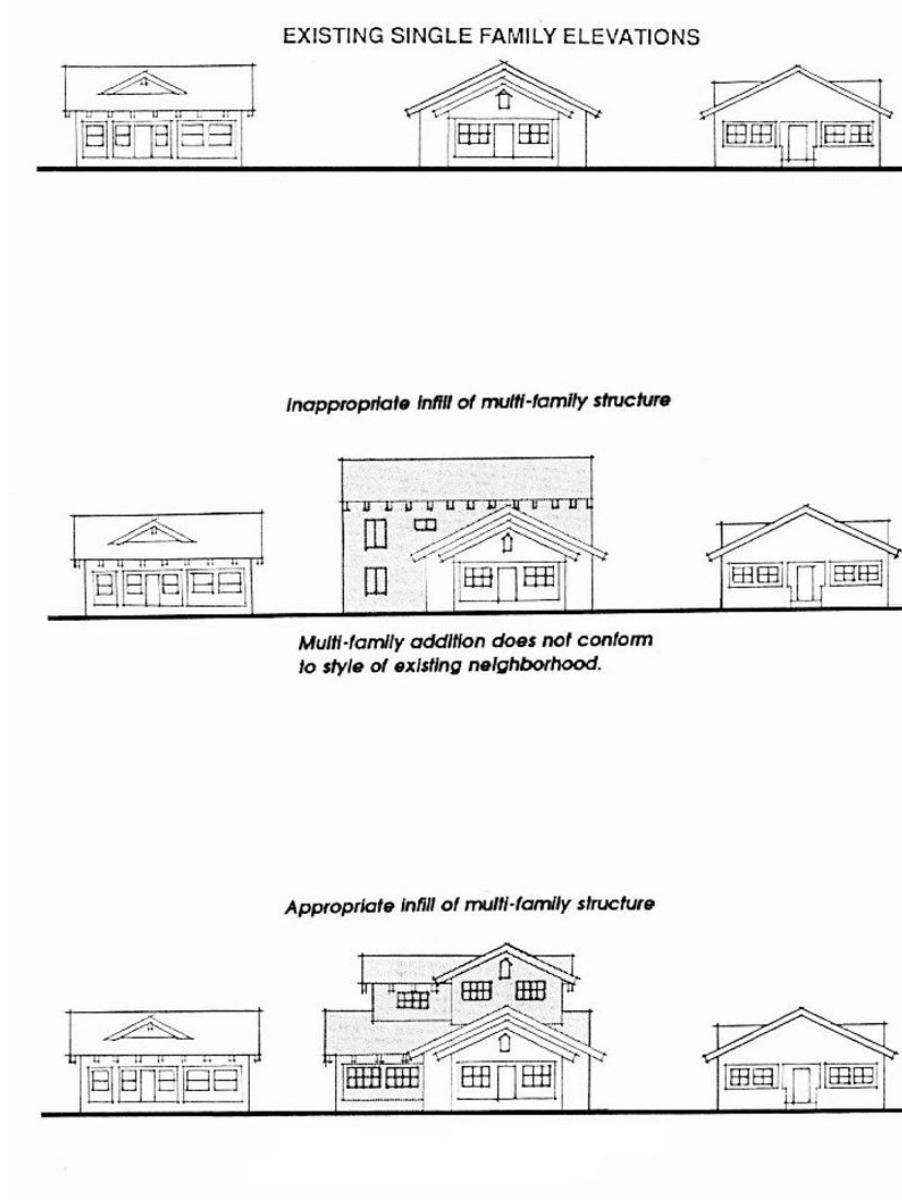
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**FIGURE RD-13**  
**Trash Enclosure Design**

- d. Mail boxes. Where common mail box services are provided, they should be located close to the project entry or near recreational facilities. The design of the box enclosures should be similar in form, materials, and color to the surrounding buildings. (Mail box locations must be approved by the U.S. Postal Service.)
  - e. Lighting. Lighting for multi-family projects should be designed and installed in compliance with the following principles.
    - (1) Focus light downward. A good rule of thumb is to make sure that direct light shines a minimum of 20 degrees below a horizontal plane and in no case above the horizontal plane.
    - (2) Test installation for glare. After installation, check to make sure that glare will not be a problem for neighbors, pedestrians, or motorists.
    - (3) Avoid mercury vapor lamps. Metal halide or high-pressure sodium lamps are preferable for most applications.
- B. Building design and architecture.
- 1. Mass and scale. Multi-family buildings should be designed with consideration of the context of surrounding residential structures.
    - a. The perceived height and bulk of multi-story buildings should be reduced by dividing the building mass into smaller-scale components and adding details such as projecting eaves, dormers or balconies.
    - b. In some cases, it may be desirable to "step back" the upper stories of new multi-family buildings to reduce the scale of façades that face streets, common spaces, and adjacent residential structures.

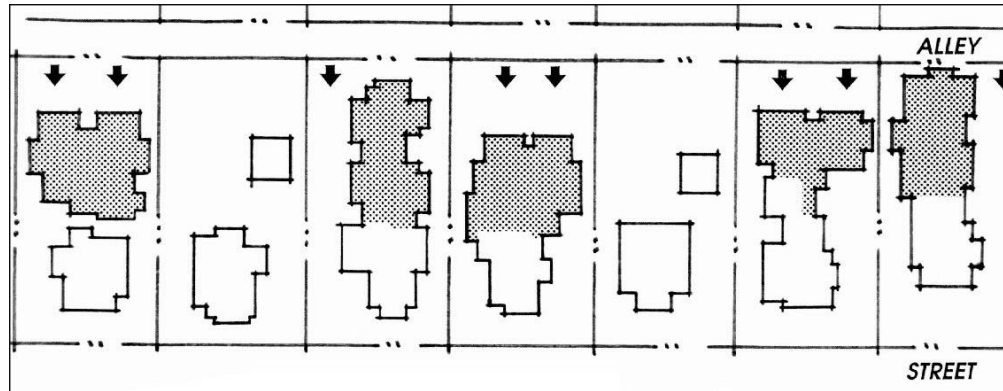
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**FIGURE RD-14**  
**Appropriate Infill Design**

- c. A visual balance, or horizontal rhythm, should be created in the relationships between the dimensions of multi-family buildings, their parts, and the spaces between and around them.

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Appropriate infill of multi-family units  
transitions and conforms to architectural  
articulation of adjacent single-family structures

**FIGURE RD-15**  
**Articulation of Infill Projects**

2. Architectural elements and materials.
  - a. Building frontages on public streets should incorporate architectural elements including bays, bay windows, recessed or projecting balconies, verandas, and other elements that improve the visual interest, scale and character of the street and neighborhood.
  - b. Architectural elements in multi-family buildings, including recessed balconies and porches, are spaces that residents can occupy and enjoy as a link to the street and as a sheltered, fresh-air environment. These spaces create a sense of depth. This vocabulary of voids and solids, and enclosed spaces enriches building composition and massing.
- C. Security. Safety in multi-family residences, buildings, and neighborhoods is important to residents and visitors alike. The following guidelines are grouped under three basic concepts: natural surveillance, natural access control, and territorial reinforcement.
  1. Natural surveillance. Natural surveillance means increasing the opportunity for people who are in the spaces outside individual units to be easily watched. That is, a space should be designed so that users feel that they will be seen if they do something inappropriate. It includes the organization of physical features, activities and people in ways that maximize visibility. It also includes: the thoughtful placement of windows, doors, and plazas; the alignment of sidewalks and paths so that lines of sight are created; the minimization of large areas of blank walls; the locations and levels of lighting; and close connection of open spaces to surrounding living units. These measures make it easier for visitors and residents to see and be seen.
    - a. The entry of each dwelling should be visible from more than one other unit.
    - b. The windows of frequently used rooms (e.g., kitchens and living rooms) should be placed to facilitate the natural surveillance of nearby entries and courtyards.
    - c. Selected lighting fixtures should be easy to maintain.

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- d. Lighting fixtures should be selected to not produce excessive glare or dark shadows, unlike high intensity security lamps that create the impression of a hostile and dangerous environment. Lighting fixtures that are readily perceived as "security" lamps should be avoided in favor of fixtures that provide good levels of lighting, selected because their appearance and the light they generate is suitable for the project.
  - e. Any management office should be located at a central, visible point within the multi-family project.
2. Natural access control. Natural access control means the creation and reinforcement of physical and psychological boundaries, limits and barriers to clarify which spaces belong to residents only, to residents and visitors, and to the general public. It involves the physical guidance of people coming and going from a space by the careful placement of entrances, exits, signs, fencing, landscaping and lighting. A space should be designed to comfortably accommodate the activities of legitimate users, but discourage individuals carrying out undesirable activities.
- a. The site planning and architectural design of multi-family structures should minimize the number of entries into the site. Site entries should be located to enhance natural surveillance opportunities.
  - b. The site planning of multi-family structures should include vehicular and pedestrian circulation design elements that provide clear ingress and egress.
  - c. Plantings adjacent to pedestrian and vehicular circulation areas should be maintained at a low height, not to exceed three feet. Low planting can be used to define circulation areas and to eliminate opportunities for "cutting through" the site.
  - d. All building and site entries should be planned and designed for nighttime accessibility and visibility.
3. Territorial reinforcement. Territorial reinforcement incorporates the use of site design features that express ownership, including fences, pavement treatments, art, signage and landscaping. Space should be clearly ordered as a hierarchy: public (intended for all to use), semi-private (intended for specific users or uses), and private (intended for private use by a household).
- a. Courtyards and other centrally-oriented common spaces should be designed to be visible to all the dwellings served.
  - b. The design should utilize paving patterns to delineate use areas and entry zones. These paving patterns add visual interest and reinforce multi-family residents' territorial claims.
  - c. When designing new multi-family development, public or common open spaces can be provided that residents can enhance by such means as potted plants or moveable seats.
  - d. Individual or grouped mailboxes should be located such that they are visible from dwellings.
  - e. Public phones and intercoms, if included in the design of multi-family buildings, should be located near the entry in a well-lit area which is highly visible from dwellings.
  - f. All areas on multi-family sites should be designed appropriately based on space hierarchy: public (e.g., sidewalk), semi-public (e.g., front yard), semi-private (e.g., interior courtyard) and private (e.g., patio). No spaces should be "unclaimed;" that is,

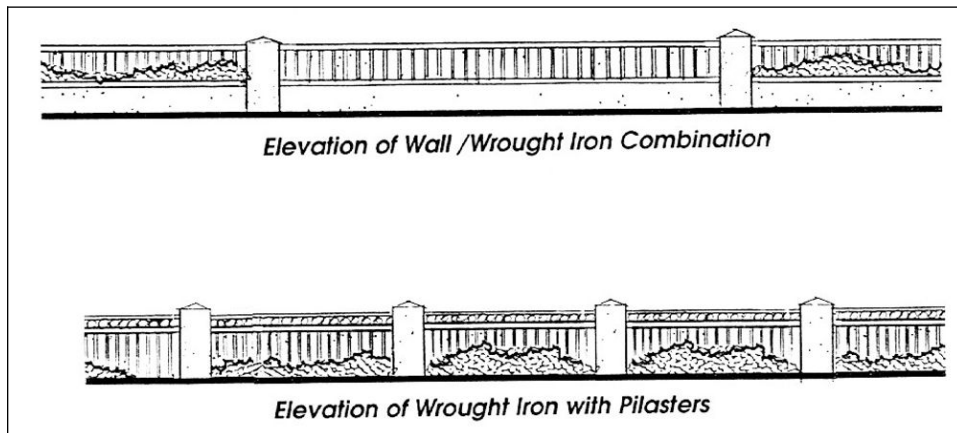
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all areas of multi-family developments should be within the domain of an individual dwelling or dwellings.

### G-08.060 Residential Walls, Fences and Hedges.

Residential projects designed to be continuous walled compounds, isolated from the rest of the community, are discouraged. While fences, walls and hedges may be needed for security, sound attenuation and privacy, these objectives can often be met by careful design that controls fence, wall and hedge height and length, provides variation in wall planes, and uses planting for screening and relief. The following guidelines should be used for consistent design treatment:

- A. **Materials and colors.** Fences and walls should be designed with materials and colors that complement project architecture. Wood should not be used as a primary material because of its lack of durability and need for frequent maintenance.
- B. **Design.** A wall should not run in a continuous plane for more than 60 feet without incorporating at least two of the following:
- A minimum 2-foot change in plane for at least 10 feet;
  - A minimum 18-inch raised planter for at least 10 feet;
  - A minimum 18-inch change in height for at least 10 feet;
  - Use of pilasters at 50-foot intervals and at changes in wall planes; or
  - A section of open grillwork with a minimum height of four feet for at least 10 feet of wall length.



**FIGURE RD-16**  
**Appropriate Fence Design**

- C. **Height limits on hedges.** Hedge heights shall be in compliance to guidelines set out in Section 19.20.050.

(Ord. 14-940 § 9, 2014)