

## ZONING

### APPENDIX E

#### TOWNSHIP OF ADAMS, BUTLER COUNTY

#### DEVELOPMENT MODELS DESIGN MANUAL

##### I. GENERAL STANDARDS.

- A. Applicability. Based on the community-wide goals and objective statements included in the Adams Township Comprehensive Development Plan, a variety of preferred development models have been crafted for the consideration of property owners. Adams Township has chosen to manage growth in order to achieve its short- and long-range community objectives and to provide for alternative development design components which incorporate the planning philosophy of Township officials. In each established zoning district, other than the Route 228 Corridor Overlay Zoning Districts, one or more of the preferred development models shall be available as conditional uses. While there are specific dimensional, locational, and use requirements attached to each of the various development models, compliance with the established standards shall be determined by the Adams Township Board of Supervisors through the land development review and approval process prior to the issuance of required zoning or building permits.
- B. Procedure for preapplication review of development models. The variety of design components established in this Appendix for each of the preferred development models necessitate a preapplication review of the land development proposal by the Adams Township Planning Commission. The property owner or applicant shall provide at least three copies of a conceptual land development plan which demonstrates in general the following information:
1. Size of tract to be developed.
  2. Points of access and location of existing rights-of-way and proposed streets.
  3. Proposed configuration of building lots and areas of each.
  4. Proposed location of water and sanitary sewerage facilities.
  5. Typical elevations and building materials.

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- 6. Land forms and natural features such as slopes, stream channels, and forests.
- 7. The amount and location of open space within the land development.
- C. Procedure for review of development models (land development). Such information shall be submitted at least 28 working days prior to the next regularly scheduled Planning Commission meeting for review, upon determination by the Planning Commission that the proposed development is consistent with the key design components of the preferred development model.
- D. Appeals. In the event that the proposed development is determined not to conform to the key design components of the preferred development model, the Planning Commission shall identify the deficiencies and notify the applicant in writing not more than five days following the determination. The property owner or applicant may revise the preapplication information and resubmit or choose to submit a formal land development application within the time period specified.

**II. LOT TYPES (RESIDENTIAL).**

Each preferred development model may include a number of different lot configurations or mix of lot types. The following standards shall apply to all models where a mix of lot configurations or lot types is proposed:

- A. Country lots.

<b>Size</b>	
Minimum lot size	3 (3) acres (130,680 square feet)
Minimum lot width	200 feet at front setback line
<b>Building Coverage</b>	
Minimum front yard setback	50 feet on all roads
Minimum side yard setback	50 feet combined side, 10 feet one side (either side)
Minimum rear yard setback	50 feet all buildings, 10 feet accessory
<b>Building Height</b>	
Maximum height:	45 feet
<b>Utilities</b>	May be on-lot (one or both) or publicly provided (one or both)

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B. Estate lot.

<b>Size</b>	
Minimum lot size	1 acre (43,560 square feet)
Minimum lot width	125 feet at front setback line
<b>Building Coverage</b>	
Minimum front yard setback	50 feet on existing roads and 40 feet on roads created within a plan
Minimum side yard setback	50 feet both sides combined; 10 feet one side (either side)
Minimum rear yard setback	45 feet all buildings; 10 feet accessory buildings
<b>Building Height</b>	
Maximum height	35 feet

C. Suburban lots.

<b>Size</b>	
Minimum lot size	1/2 acre (21,780 square feet)
Minimum lot width	90 feet at front setback line
<b>Building Coverage</b>	
Minimum front yard setback	50 feet on existing roads and 30 feet on roads created within a plan
Minimum side yard setback	30 feet for each side combined; five-foot minimum one side (either side) with a minimum thirty-foot building separation
Minimum rear yard setback	40 feet for principal buildings and 10 feet for accessory buildings
<b>Building Height</b>	
Maximum height	35 feet

D. Neighborhood lots (interior lots only).

<b>Size</b>	
Minimum lot size [ <b>Amended 3-7-2005 by Ord. No. 109</b> ]	10,980 square feet (1/4 acre)
Minimum lot width	75 feet at front building line
<b>Building Coverage</b>	
Minimum front yard setback	25 feet (no maximum)
Minimum side yard setback	25 feet both sides combined; five feet one side (either side) with a minimum twenty-five-foot building separation

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Minimum rear yard setback	30 feet for principal buildings and 10 feet for accessory buildings
<b>Building Height</b>	
Maximum height	35 feet

E. Traditional lots (interior lots only).

<b>Size</b>	
Minimum lot size [ <b>Amended 3-7-2005 by Ord. No. 109</b> ]	8,712 square feet (1/5 acre)
Minimum lot width	60 feet at front building line
<b>Building Coverage</b>	
Minimum front yard setback	20 feet (no maximum)
Minimum side yard setback	20 feet both sides combined; five feet one side (either side) with a minimum twenty-foot building separation
Minimum rear yard setback	30 feet for principal buildings and 10 feet for accessory buildings
<b>Building Height</b>	
Maximum height	35 feet

F. Townhouse lots.

<b>Size</b>	
Minimum lot size [ <b>Amended 3-7-2005 by Ord. No. 109</b> ]	2,420 square feet per unit (1/18 acre)
Minimum lot width [ <b>Amended 3-7-2005 by Ord. No. 109</b> ]	20 feet at front setback line per unit
<b>Building Coverage</b>	
Minimum side yard width at end of row of dwellings	15 feet (two yards required)
Minimum separation of buildings, end to end	30 feet
Maximum number of attached dwellings in a row	8
Minimum front yard setback	20 feet
Minimum rear yard setback [ <b>Amended 3-7-2005 by Ord. No. 109</b> ]	25 feet
<b>Building Height</b>	
Maximum height	35 feet

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### G. Village apartment lots.

<b>Size</b>	
Minimum lot size	14,520 square feet (1/3 acre)
Minimum lot width	120 feet at front setback line
<b>Building Coverage</b>	
Minimum front yard setback	20 feet
Minimum side yard setback	50 feet both sides combined; 20 feet one side (either side)
Minimum rear yard setback	30 feet for all buildings
<b>Building Height</b>	
Maximum height	45 feet
Maximum number of occupied floors	3, including basement if basement windows are above grade, with a fourth level possible below grade for garage, laundry and storage, etc.
Maximum number of apartments per floor	8
Parking to rear of building only or not less than 50 feet from front property line; on corner lot set back at least 20 feet from side street right-of-way	

### III. LOT TYPES (NONRESIDENTIAL).

#### A. Institutional lots. [Amended 7-23-2001 by Ord. No. 96]

<b>Size</b>	
Minimum lot size	5 acres if both public sewer and water services, or either utility, are not available to the site; 2 acres when both public sewer and water services are available to the site
Maximum lot size	10 acres
Minimum lot width	200 feet when both utilities are available to the site; 300 feet when both utilities are not available to the site
Minimum lot depth	300 feet when both utilities are available to the site; 500 feet when both utilities are not available to the site

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<b>Building Coverage</b>	
Maximum lot coverage	20,000 square feet of building coverage
Minimum front yard setback	100 feet for buildings and parking
Minimum side yard setback	50 feet for buildings and parking
Minimum rear yard setback	50 feet for buildings and parking
<b>Building Height</b>	
Maximum height	45 feet
Maximum number of occupied floors	3, including basement if basement windows are above grade
Maximum number of apartments per floor	8
Parking to rear or side of building	

Zoning Districts	Conditional Use Development Models						
	Village	Hamlet	Large Lot Rural Subdivision	Small Property Subdivision	Rural Commerce Park	Large Institutional	Small Community Institutional
<b>RC Rural Conservation</b>			3				
<b>RAL Residential Agricultural, Low Density</b>		3 *	3	3 *			
<b>RAM Residential Agricultural, Moderate Density</b>	3 *	3 *	3	3 *		3	3
R-1 Residential			3				
R-2 Residential			3	3			
<b>R-3M Residential Multifamily</b>							
R-4 Residential (Reserved)				3			
<b>R-5B Residential, Business</b>							
C Commercial						3	3
B Business					3		3
I Industrial					3	3	3 3

\*NOTE: These models will be permitted in the RAL and RAM Districts only if the following conditions are met:

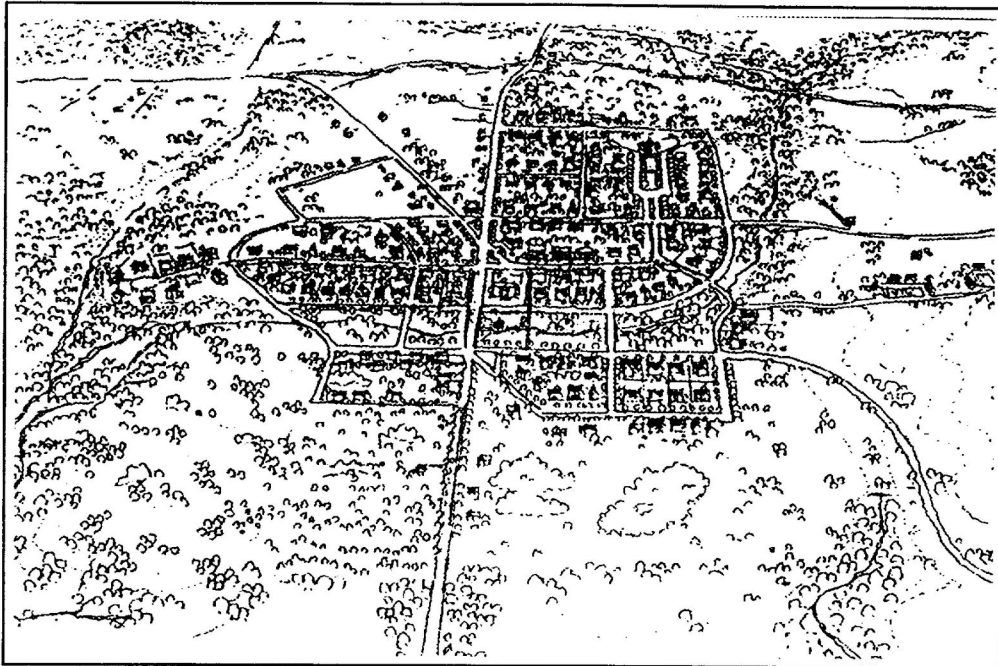
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- a. All proposed lots shall be served by a municipal water system or other public water system; and except as otherwise provided;
- b. All lots shall be served by a municipal wastewater/sewage system or other public wastewater system; and
- c. A total of 30% of the gross acreage will be maintained as publicly or privately owned open space.

### IV. DEVELOPMENT MODEL GUIDELINES.

The following narrative language, including purpose statements and planning objectives to be achieved, are set forth in order to facilitate the design and layout of these preferred development models. The site requirements are specified as minimums and maximums within the parameters of the preferred development model; however, innovation of design and equivalent options to the prescribed standards will be considered by the Planning Commission.

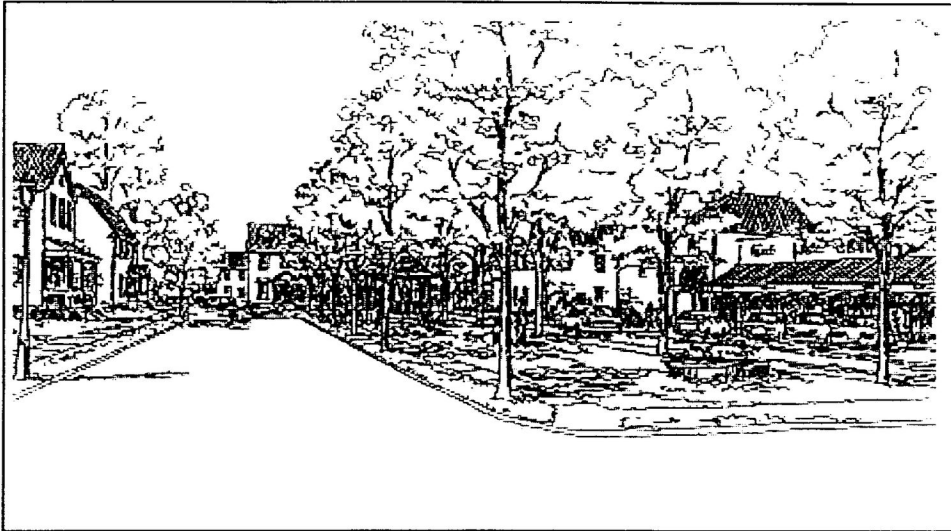
#### A. Village Model.



1. Purpose. The purpose of the Village Model is to encourage compact, mixed-use development with a definite boundary separating the built-up area from defined open space within the model. The model helps to achieve the community development objective of preserving rural

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character by concentrating development and surrounding it with defined open space in the same plan.

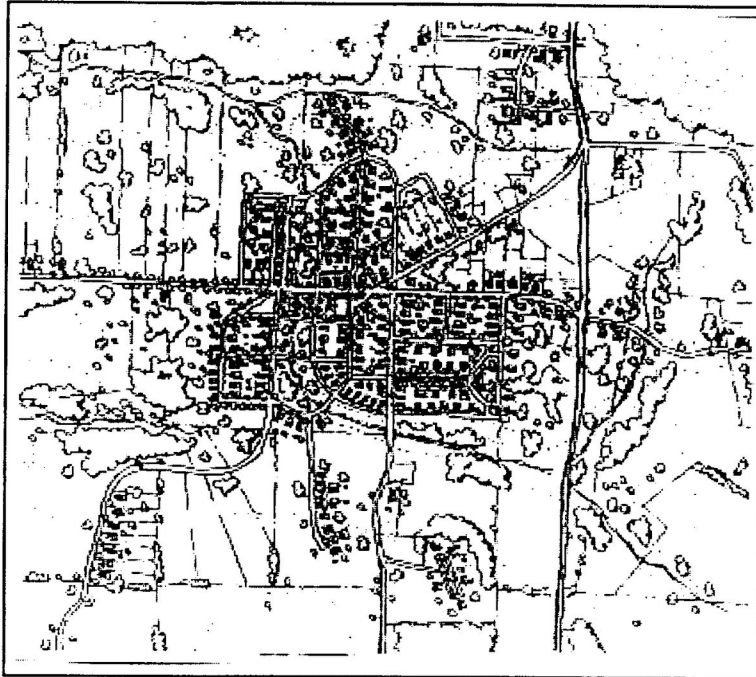


2. General characteristics and design standards. Village Model developments shall incorporate to the following land and design guidelines as a condition of approval:
  - Form. The heart of the Village is the village center - a central green, main street or similar community gathering place and focus - surrounded by residential neighborhoods with open space beyond. The majority of streets should interconnect to create blocks. Buildings should be located close to the street right-of-way to create a residential scale environment.
  - Utilities. All buildings with plumbing shall be connected to public water and public sanitary sewer systems.
  - Streets. Streets should include sidewalks, planting strips, street trees, benches and pedestrian scale lighting.
  - Open space. A minimum of 10% of the total area shall be identified as common open space, commonly owned and maintained by property owners in this village. The central green should include a planted and maintained pedestrian area. The permanent open space within the plan surrounding the developed village may be undeveloped - meadow, open field, natural woods, steep slopes, wetlands, etc., or leased for the raising of farm crops. Open space areas should be connected to the village by pedestrian walkways.

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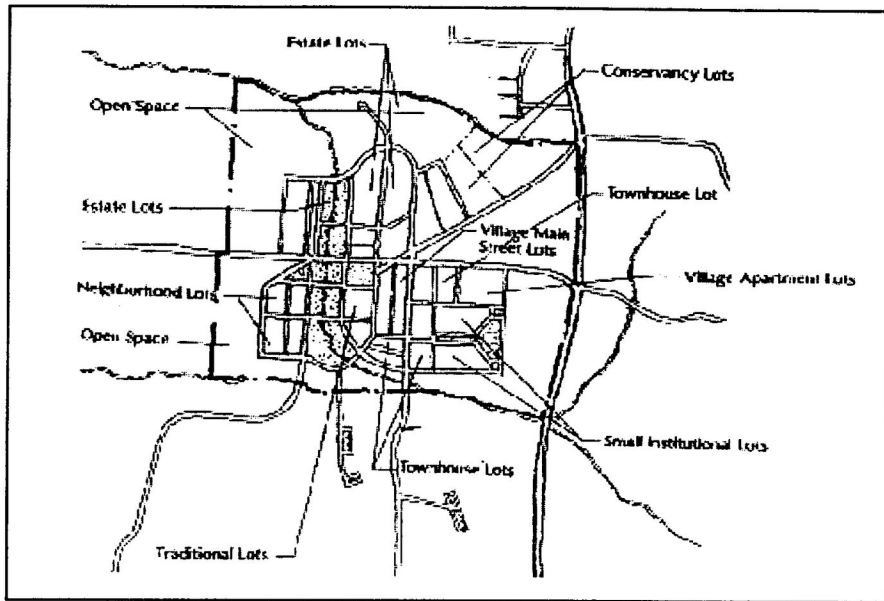
- Bufteryards. A planted buffer should be provided where the developed part of a village abuts a heavily traveled road.

### 3. Site requirements. [Amended 7-23-2001 by Ord. No. 96]



Minimum site size	60 acres
Maximum site size	200 acres
Minimum open space	30% of gross acreage (common and private open space combined)
Maximum commercial component	5% of gross acreage
Maximum institutional component	See Small Institutional Model
Minimum distance between villages	North side of Route 228 right-of-way: 2 miles east or west of the tract boundary line; South side of Route 228 right-of-way: 2 miles east or west of the tract boundary line

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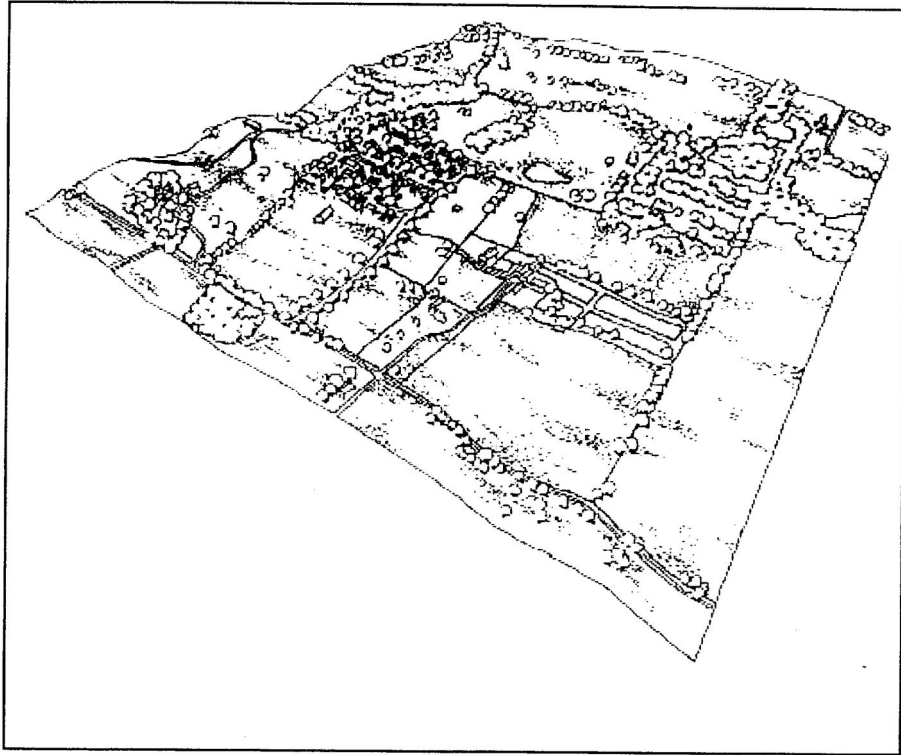
### 4. Lot types and mix.

Villages shall contain a minimum of three different lot types selected from the following list of permitted lots. The lot mix is expressed as a percentage of total permitted lots.

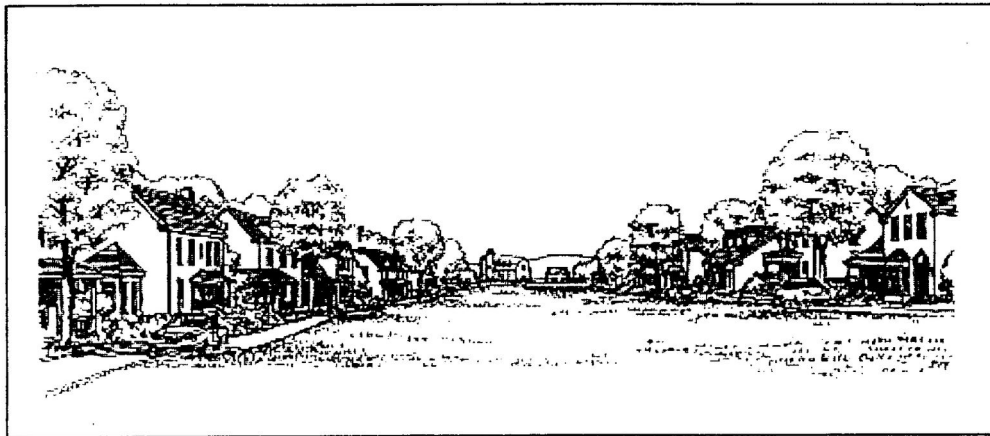
<b>Residential Lots</b>	
Townhouse lots	20% maximum (8 in a row maximum)
Traditional lots	65% maximum
Neighborhood lots	65% maximum
Estate lots	20% maximum
Country lots	3 lots maximum
Village apartment lots	10% maximum
<b>Commercial/Mixed-Use Lots</b>	
Unspecified	5% maximum
<b>Institutional Lots</b>	
Small institutional lots	1% maximum

### B. Hamlet Model.

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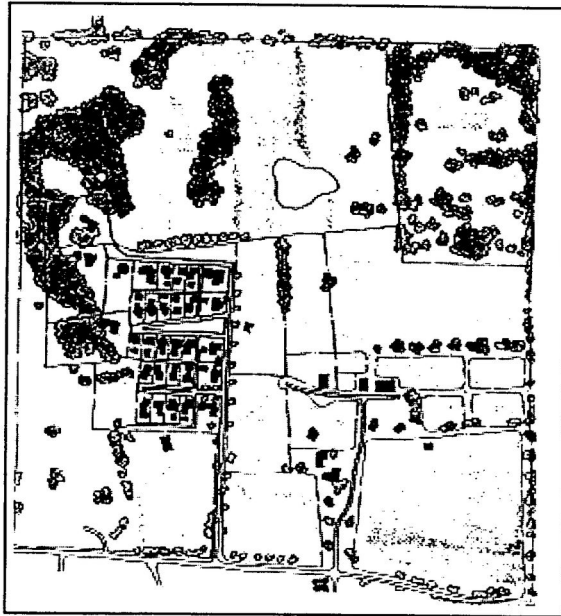
1. Purpose. The purpose of the Hamlet Model is to encourage compact residential development that preserves the natural and unique features of the property to be developed and of the surrounding area.



2. General characteristics and design guidelines. Hamlet Models shall incorporate to the following land use characteristics and design guidelines as a condition of approval:

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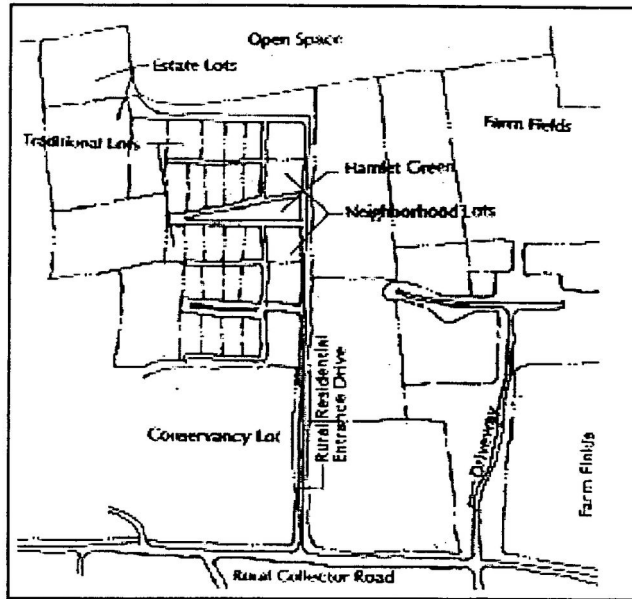
- Form. The development should be compact, abutting significant open space on at least two sides. The site's unique natural features should be preserved and incorporated into the plan. Among the features that should be preserved if they are present are farm houses, barns, silos, stone walls, fence lines, ponds and tree lines, hedgerows and farm lanes.
- Utilities. All buildings with plumbing shall be connected to public water and public sanitary sewer systems.
- Streets. Within the developed community, sidewalks and street trees are encouraged. Existing farm lanes should be enhanced as access to the community rather than creating new streets.
- Open space. A minimum of 10% of the total area shall be identified as public open space commonly owned and maintained by property owners in the hamlet. Much of the site will be open permanently as meadows, farm fields for crop raising, woods, steep slopes and/or wetlands. Lots in the development should abut or have easy access to the open space, or lots may extend into or through the open space, provided an easement guarantees that no development by the landowner will occur in the open space.
- Bufferyards. A planted buffer should be provided where the developed part of a Hamlet plan abuts heavily traveled roads.



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3. Site requirements.

Minimum site size	20 acres
Maximum site size	100 acres
Minimum open space	30% of gross acreage
Minimum distance between hamlet developments	No minimum

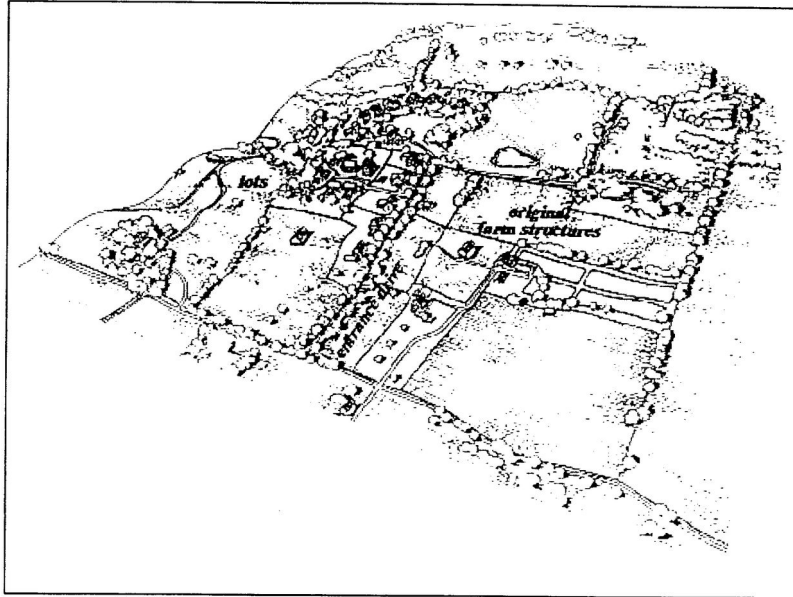


4. Lot types and mix. Hamlets shall contain a minimum of two different lot types selected from the following list of permitted lots: [Amended 7-23-2001 by Ord. No. 96; 3-7-2005 by Ord. No. 109; 9-29-2008 by Ord. No. 125]

Lot Types	Mix
Neighborhood lots	45% maximum
Suburban lots	45% maximum
Estate lots	10% maximum

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C. Large Lot Rural Subdivision Model.

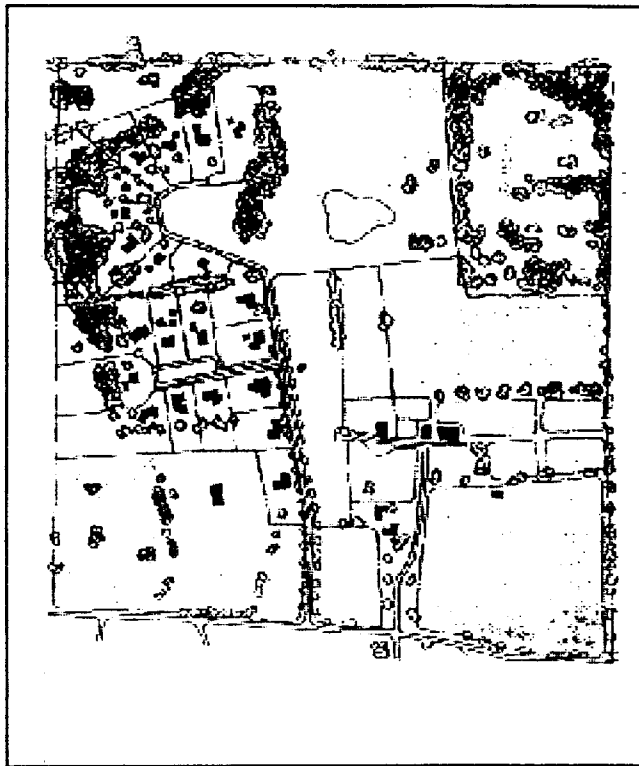


1. Purpose. The purpose of the Large Lot Rural Subdivision Model is to allow for large lots whether or not connected to public utilities to be organized in a plan surrounded by open space which is part of the plan. The setting could include actively farmed land and farm structures, tree lines, walls and farm lanes. A second purpose is to allow an owner of a large tract of land to continue farming while subdividing a portion of the tract for new housing. **[Amended 7-23-2001 by Ord. No. 96]**



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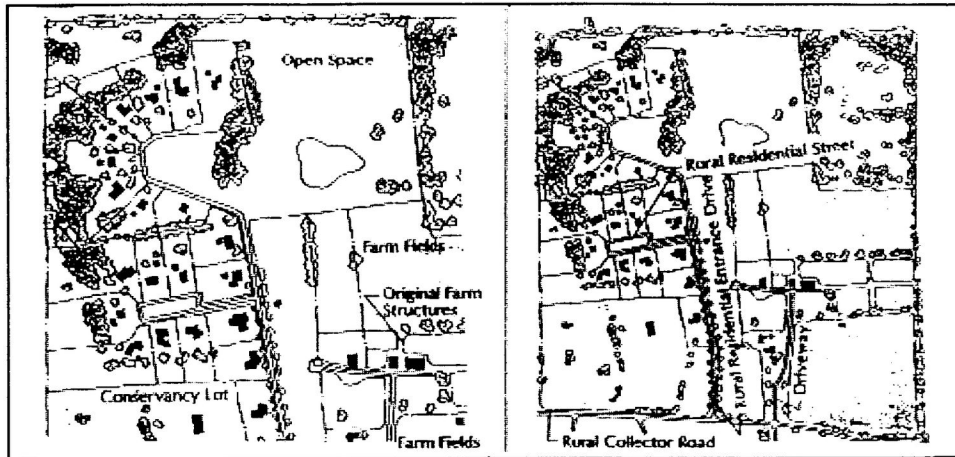
2. General characteristics and design guidelines. Large lot rural subdivisions shall incorporate to the following land use characteristics and design guidelines as a condition of approval:
- Form. The area to be subdivided should be located to permit a viable farming operation on the open space while minimizing site grading and tree removal and optimizing rural character.
  - Utilities. Public water and public sanitary sewerage are not required.
  - Streets. Access streets and those within the developed part of the plan should take advantage of existing natural features.
  - Open space. Farm fields, active and fallow, interspersed with farm structures, tree lines and fencing, should comprise the bulk of the open space, which could also include wooded areas, steep slopes, wetlands and open meadows or fields.
  - Bufferyards. No planted buffers are contemplated, although existing tree lines and hedgerows may be used to enhance the setting of the development and to mitigate the effects of severe weather.



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3. Site requirements.

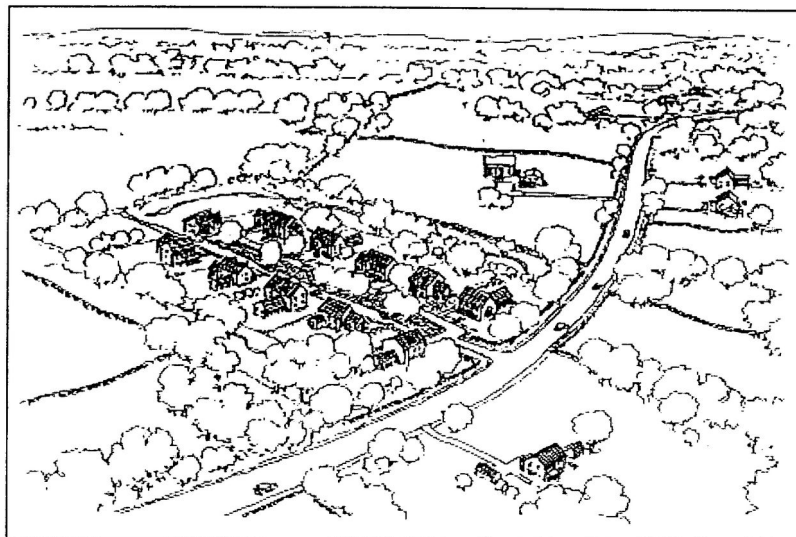
Minimum site size	No minimum
Maximum site size	No maximum
Minimum open space	40% of gross acreage



4. Lot types and mix. Large lot rural subdivisions shall contain at least two lot types.

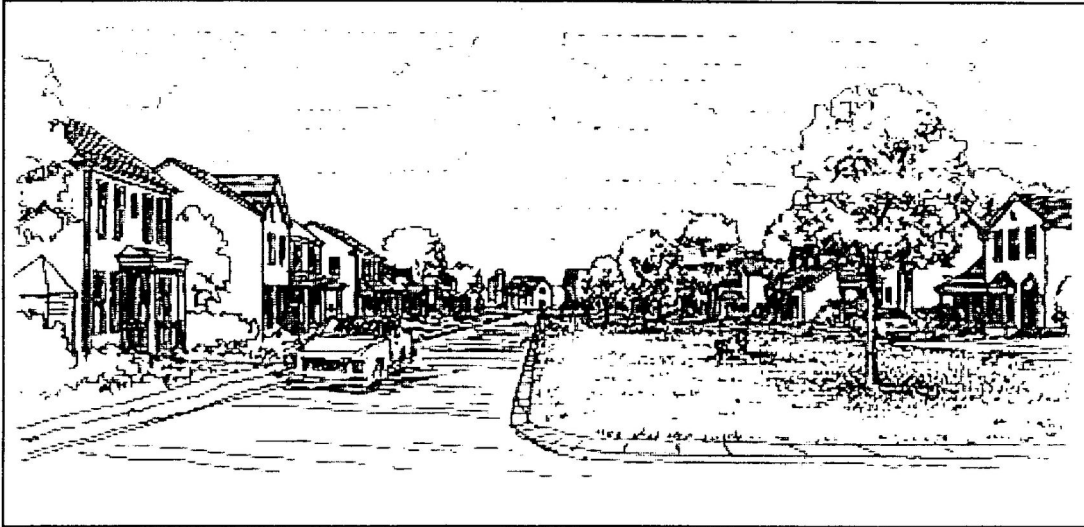
Lot types	Mix
Country	25% minimum
Estate	25% minimum

D. Small Property Subdivision Model.



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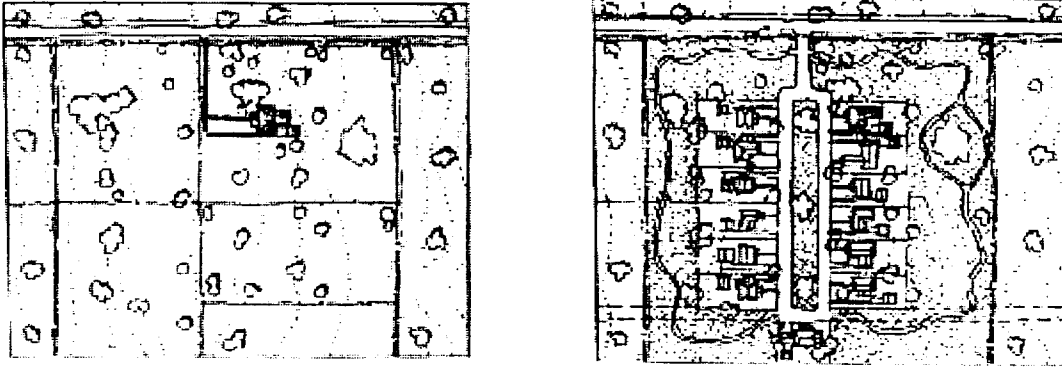
1. Purpose. The purpose of the Small Property Subdivision Model is to encourage development of a smaller tract of land to combine small home lots within an open space setting in the same plan, utilizing the natural features of the tract to enhance the rural character of the area.



2. General characteristics and design guidelines. Small property subdivision models shall incorporate to the following land use characteristics and design guidelines as a condition of approval:
  - Form. The plan of lots should be compact, with homes facing a central green. Rear yards may be deep, extending to the tract boundary.
  - Utilities. All buildings with plumbing shall be connected to public water and public sanitary sewer systems.
  - Streets. Houses should front on the plan streets, which may be enhanced by street trees, sidewalks on both sides of the vehicular way, planting strips and pedestrian - scaled lighting. **[Amended 3-7-2005 by Ord. No. 109]**
  - Open space. Common open space or the back parts of deep rear yards protected by conservation easements should extend to the edges of the tract on at least three sides of the plan. This open space, when combined with abutting open space in adjacent plans, could form significant open areas to reinforce rural character.

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- Bufferyards. Where the edges of a tract abut a collector road, buffering shall be used to cloak or soften the view of the collector road from the plan. [Amended 3-7-2005 by Ord. No. 109]

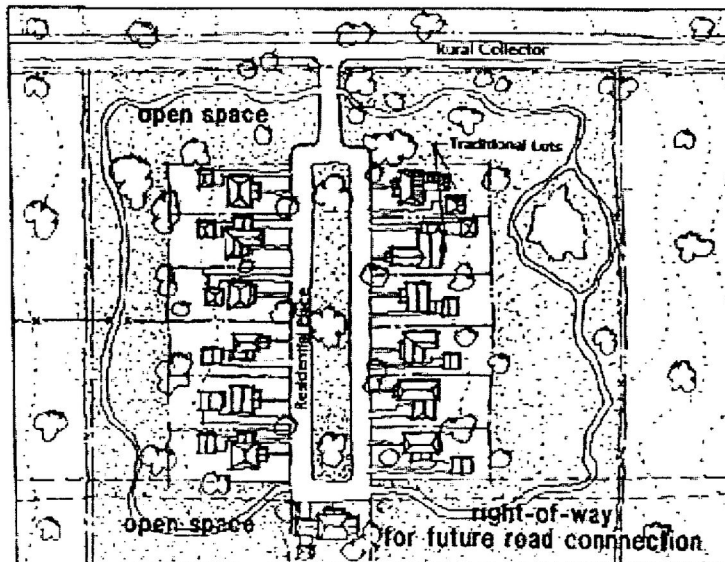


**Before**

**After**

3. Site requirements. [Amended 2-28-2011 by Ord. No. 141]

Minimum site size	20 acres
Maximum site size	50 acres
Open space development ratio	20% of gross site size
Utility connection	Both public water and sewer connections shall be available to all lots

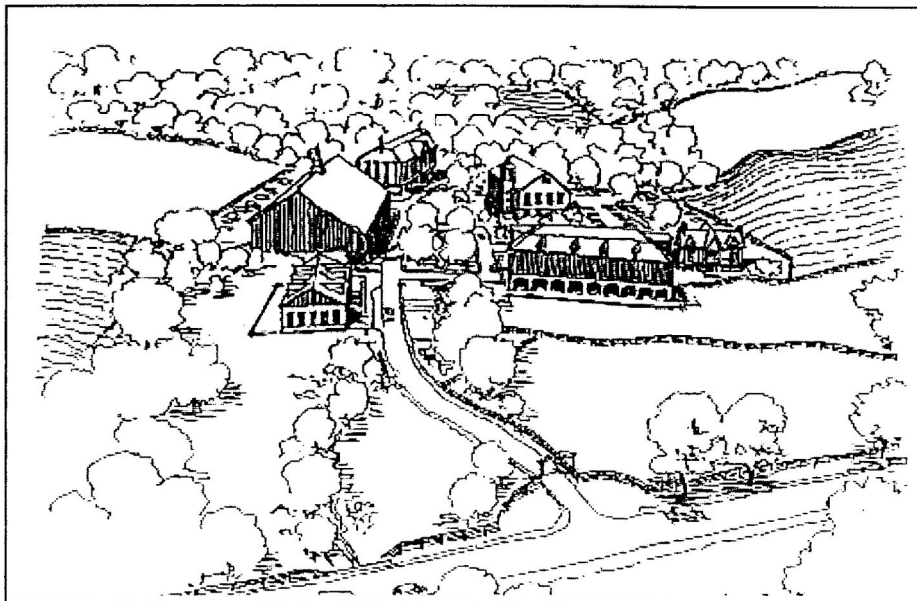


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4. Lot types and mix. At least three of the following types are required in small property subdivision developments: [Amended 7-23-2001 by Ord. No. 96; 2-28-2011 by Ord. No. 141]

Lot Types	Mix
Traditional lots	40% maximum
Neighborhood lots	No maximum
Suburban lots	10% maximum

- E. Rural Commercial/Industrial Park Model.



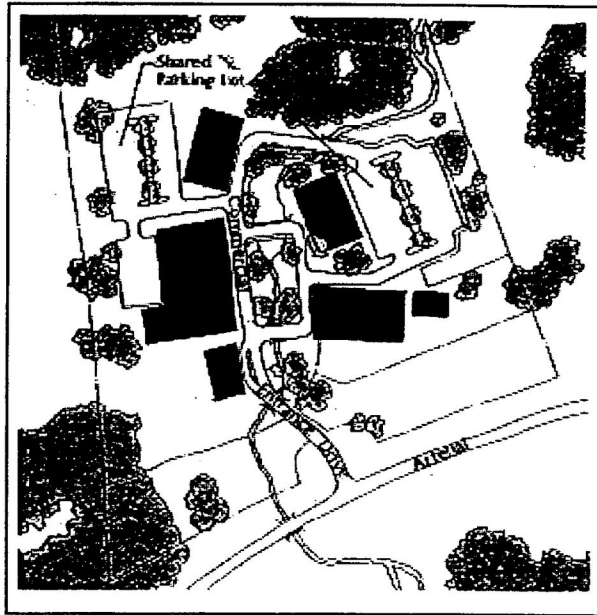
1. Purpose. The purpose of the Rural Commerce/Industrial Park Model is to provide parameters within which a grouping of business buildings with parking, loading and circulation can be developed. The scale, setting and exterior construction materials evoke rural character by relating to the appearance of traditional farm buildings, by fitting the structures and parking areas to the preexisting site, and by leaving a large part of the property in its natural state.

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2. Characteristics and design guidelines. Rural Commercial/Industrial Park Model shall incorporate to the following land use characteristics and design guidelines as a condition of approval:
  - Form. The development should be grouped around a central area. Buildings should be kept well back from existing public roads and should have sloped roofs as a prominent visual feature. Gables, dormer windows and cupolas will enhance the appearance, as will vertical orientation of exterior siding. Parking areas should be to the side or rear of the buildings except for handicapped spaces in front.
  - Utilities. All buildings with plumbing shall be connected to public water and sanitary sewer.
  - Streets. An existing farm lane should be enhanced and used as the access, if available, or the access drive could be parallel to and adjacent to natural features.
  - Open space. There should be a conservation easement around the entire development and possibly a central green. Parking areas should be screened when located on the perimeter of the site.
  - Bufferyards. A natural or planted buffer should screen parking areas and, where the abutting land is residential, a bufferyard, fencing and/or substantial setback should be provided to mitigate the effect of larger business buildings on adjacent smaller homes.

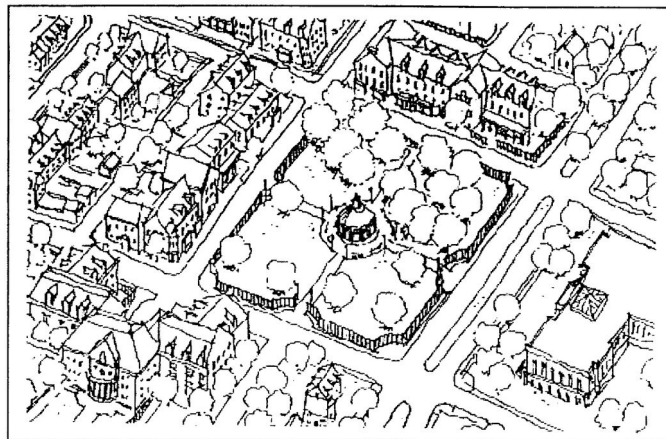
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### 3. Site requirements.

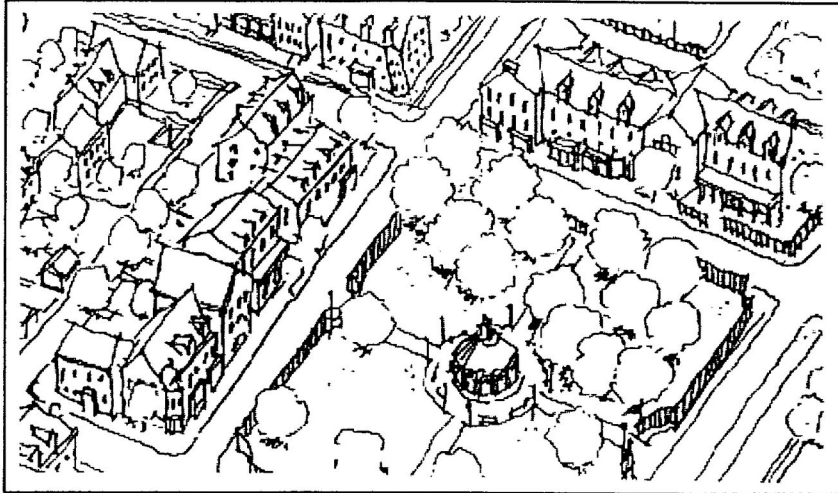
Minimum site size	25 acres
Maximum site size	100 acres
Minimum open space	40% of gross acreage
Distance between commercial development	1,000 feet property line to property line

### F. Large Institutional Model.



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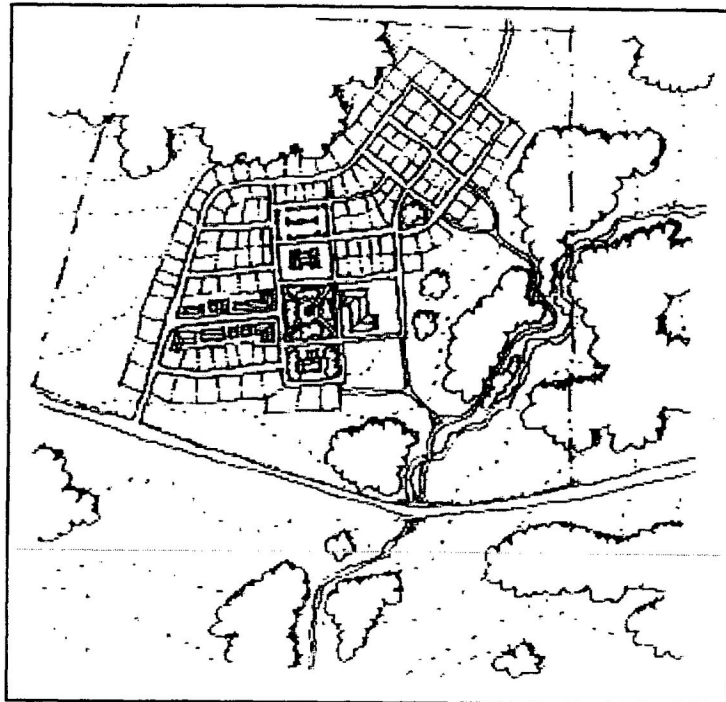
1. Purpose. The purpose of the Large Institutional Model is to encourage the integration of schools, hospitals, nursing homes, church complexes and similar institutions that are appropriate within a residential setting. The idea is to connect larger institutions to the community in which they are located.



2. Characteristics and design guidelines. Large Institutional Model developments shall incorporate to the following land use characteristics and design guidelines as a condition of approval:
  - Form. The focus and core of the development should be the institutional building or complex, oriented toward a public green or plaza, surrounded by or abutting an existing or proposed residential development that is a part of the plan. The institutional area and the residential area should be integrated by a common network of streets, sidewalks, pedestrian trails and bikeways in green areas. The main access to, and heaviest vehicular concentration generated by, the institution should, however, be separated from the local residential traffic. The residential area should include a variety of housing types in a dense pattern surrounded by open space.
  - Utilities. All buildings with plumbing shall be connected to public water and public sanitary sewer systems.
  - Streets. Streets within the plan should include sidewalks, street trees and pedestrian-scale lighting. Curbside or on-street parking may be permitted with increased cartway widths. Parking lots should be placed behind buildings or hidden by planted berms if abutting a public right-of-way or adjacent to housing.

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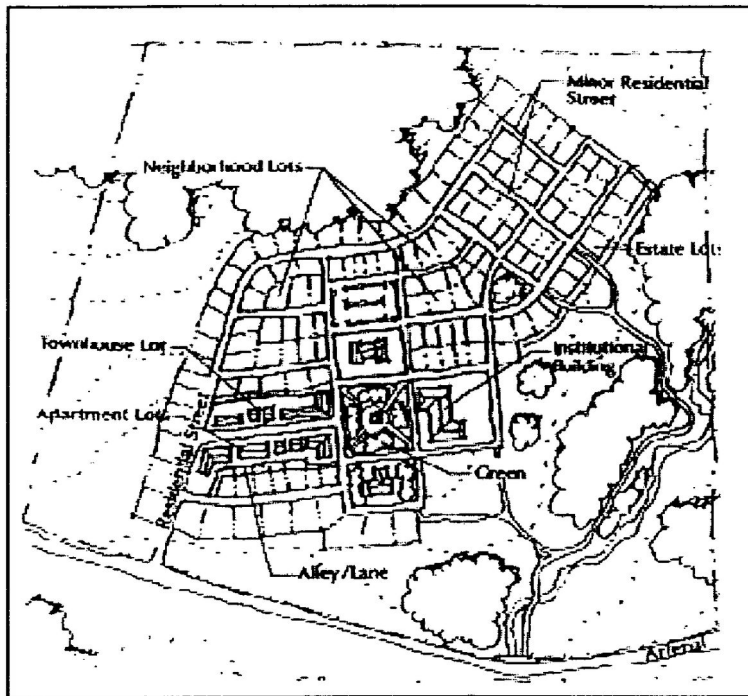
- Open space. Aside from the green at the center, the development should include significant areas of permanent open space, particularly those areas on the site that may contain steep slopes, woods or wetlands. Part of the open space may be used for recreational purposes.
- Bufferyards. Such planted yards should be provided to screen the development from adjacent nonresidential activity.



### 3. Site requirements.

Minimum property size	15 acres
Maximum property size	100 acres
Minimum large institutional lot size	10,000 square feet
Open space requirements	50% of gross acreage
Minimum distance between large institutional uses	1 mile

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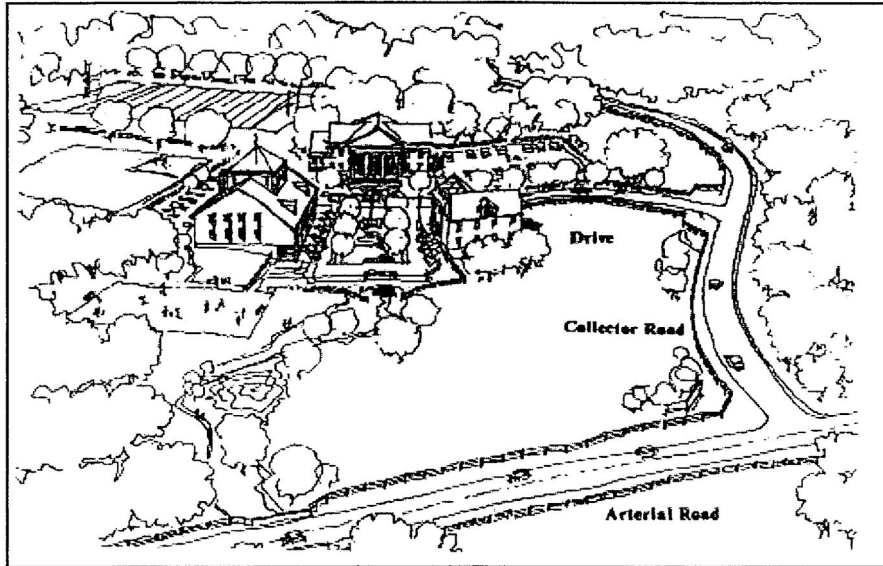
4. Lot types and mix. Lots in a large institutional model development shall contain a minimum of three different lot types, in addition to the institutional use, selected from the following list of permitted lots:

Lot/Use Type	Mix
<b>Institutional</b>	
Institutional	10 acres maximum
<b>Residential lots</b>	
Townhouse lots	15%
Cottage lots	70%
Traditional lots	70%
Neighborhood lots	70%
Estate lots	30%
Conservancy lots	3 lots
Apartment lots	2.5%

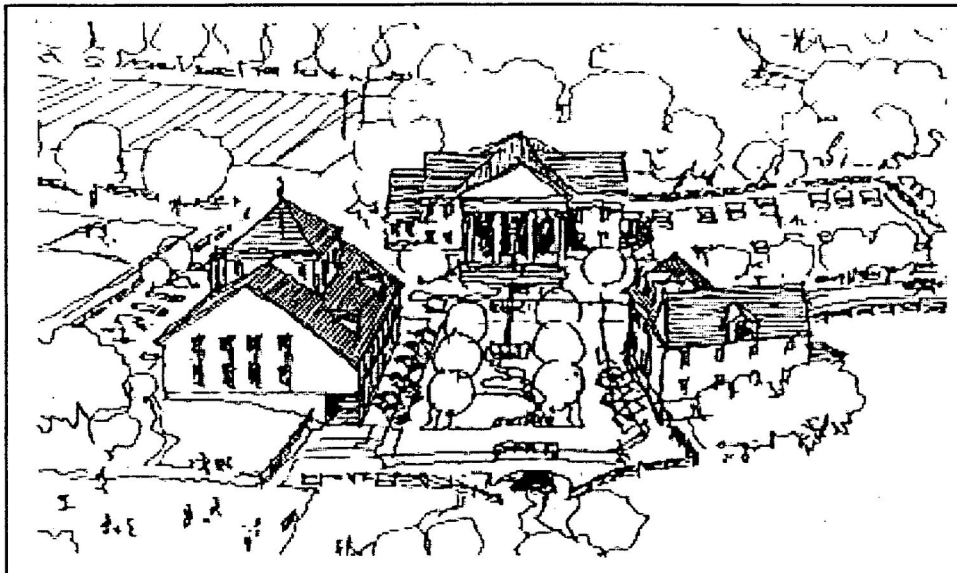
The lot mix, with the exception conservancy lots, is expressed as a percentage of total permitted lots.

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### G. Small Institutional Model.

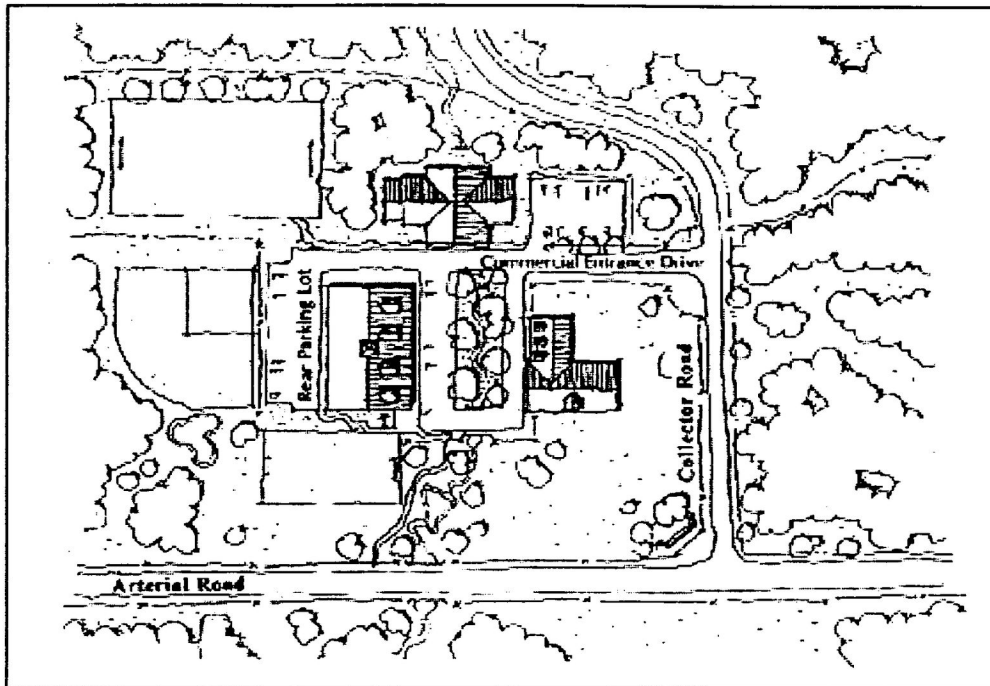


1. Purpose. The purpose of the Small Institutional Model is to create an opportunity for the siting of an individual institution, such as a church, school, day-care center or other community facility, in a rural setting with minimal earthmoving or removal of trees, and a substantial setback of buildings from abutting public rights-of-way.



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2. General characteristics and design guidelines. Small community developments shall incorporate to the following land use characteristics and design guidelines as a condition of approval:
  - Form. The buildings within the development should be in a compact arrangement and interrelated to form a small campus with a central green. If one building constitutes the development, its entrance should face the street, with parking and servicing areas at the rear. The building or buildings should have prominent pitched roofs, dormer windows, cupolas and chimneys.
  - Utilities. Public water and sanitary sewer are not required.
  - Streets. One access driveway, marked by a fence, hedgerow or tree line, should be sufficient to serve the development, although a second drive is encouraged.
  - Open space. Areas not occupied by buildings or parking may be used for private recreation or left in a natural state. There should be a substantial setback between the buildings and adjacent property and public rights-of-way.
  - Bufferyards. Additional planting should be provided to screen parking areas from adjacent housing or to protect against busy highways or nonresidential uses that may abut the site.



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### 3. Site requirements.

Minimum site size	5 acres
Maximum site size	10 acres
Minimum open space	60% of gross acreage
Minimum distance between developments	1,000 feet measured property line to property line

### 4. Lot types. Lots in a small institutional model development shall consist of the following permitted types:

- Small institutional lots