

PROPOSED BUILDING	REQUIRED	PROPOSED
FRONT SETBACK (D.E.S.)	150 FT.	150 FT.
REAR SETBACK (D.E.S.)	40 FT.	40 FT.
SIDE SETBACK (D.E.S.)	20 FT.	20 FT.
MAX. BUILDING HEIGHT (D.E.S.)	30 FT.	30 FT.
MAX. BUILDING FOOTPRINT AREA (D.E.S.)	2-1/2 STORIES / 28 FT. x 2-1/2 STORIES / 28 FT.	2-1/2 STORIES / 28 FT. x 2-1/2 STORIES / 28 FT.
MAX. BUILDING COVERAGE (D.E.S.)	25%	25%
MAX. LOT COVERAGE	25%	25%
	558	558
	128	128

- NOTES:
- THIS PLAN IS PREPARED FROM THE PLAN, SURVEY, AND TOPOGRAPHIC SURVEY, PREPARED FOR LOT 5, BLOCK 94, BINGHAM AVENUE, MONMOUTH COUNTY, NEW JERSEY, PREPARED BY FRENCH & PARRELLO ASSOCIATES, DATED JULY 11, 2019.
 - ARCHITECTURE FOOTPRINT OBTAINED FROM VIRTUOSO ARCHITECTURE, SEA, UPT, NEW JERSEY.
 - THIS PLAN SHALL BE USED FOR ILLUSTRATION PURPOSES ONLY.

CONCEPT PLAN
FOR
LOT 5, BLOCK 94
132 BINGHAM AVENUE
MONMOUTH COUNTY, NEW JERSEY

FPA
FRENCH & PARRELLO
ASSOCIATES, INC.

11-27-2019

SCALE: 1/8" = 1'-0"

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ARCHITECTURE FOOTPRINT OBTAINED FROM VIRTUOSO ARCHITECTURE, SEA, UPT, NEW JERSEY.

THIS PLAN SHALL BE USED FOR ILLUSTRATION PURPOSES ONLY.

LEGEND

- DUPELX PLANTING PALETTE - RECOMMENDED PALETTE OF PLANT GROUPINGS
- A. DECIDUOUS SHADE TREES (ACER, QUERCUS, TILIA)
 - B. SMALL EVERGREEN TREES (REX CHINENSIS, BLUE BOY AND GIRL, TANUS CAPITATA)
 - C. LARGE EVERGREEN AND DECIDUOUS SHRUBS (RHODOCHORON, ILEX GENOVA, VIBURNUM, TRIA, HYDRANGEA, SALICARIA, AND LARGE EVERGREEN SHRUB TREE (EUCALYPTUS AND SIBAL)
 - D. SMALL EVERGREEN AND DECIDUOUS SHRUBS (SPONTOBIUS VARIEGATUS, AZALEA, SPIREA)
 - E. DECIDUOUS ORNAMENTAL UNDERSTORY TREES (CORNUS, CERIS)
 - F. BED OF PERENNIALS, GROUNDCOVER OR ORNAMENTAL GRASSES (COREOPSIS, RUBRICOCA, INSCANTUS, PACHYRANDRA, FEUCUE, ETC.)

- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING EVERGREEN TREE TO REMAIN

- NOTES:**
1. THE PROPOSED DUPLEX FOUNDATION PLANTINGS SHALL BE DESIGNED IN A FINEST FORM NATURALISTIC SHAPE THAT WILL BLENDESSLY BLEND WITH THE EXISTING PLANT MATERIAL TO MAINTAIN THE CHARACTER OF THE SURROUNDING NEIGHBORHOOD. STYLISH FORMS OF PLANT MATERIAL ARE DISCOURAGED.
 2. THE SPACES AND LOCATIONS AND BED SHAPES OF FOUNDATION PLANT MATERIAL SHALL VARY IN ORDER TO PROVIDE FOUR REGIONAL INTEREST AND LANDSCAPE VARIETY TO THE PROPOSED COMMUNITY.
 3. HANDICAP ELEMENTS ARE ENCOURAGED (LOW FORCE WALLS, ACCENT/FORMAL PORTS ETC.)
 4. BASE MAP INFORMATION OBTAINED FROM PLANNING DEPARTMENT, TOWNSHIP OF BRUNSWICK, NEW JERSEY, PREPARED BY FRENCH AND PARRELO ASSOCIATES, DATED JULY 24, 2019.
 5. ARCHITECTURE FOOTPRINT OBTAINED FROM VIRTUOSO ARCHITECTURE, SEA GIRT, NEW JERSEY.
 6. OUTDOOR BREAKTICHEN NOTE: THE OWNER OF EACH UNIT SHALL HAVE THE OPTION OF ADDING A 10' X 2' UNCOVERED BREAKTICHEN AREA TO THE PROPOSED PATIO AREA. LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE AND FOR ILLUSTRATION PURPOSES ONLY.
 7. THE PLAN SHALL BE USED FOR SCHEMATIC DESIGN PURPOSES ONLY.



SCHEMATIC DUPLEX PLANTING PLAN
SCALE 1" = 1'-0"

NOTE: THIS PLAN SHALL BE USED FOR INFORMATIONAL PURPOSES REGARDING THE PROPOSED SCHEMATIC DUPLEX PLANTING PLAN. THE FINAL PLAN SHALL BE PROVIDED AT THE TIME OF FORMAL SITE PLAN SUBMISSION.

FPA
FRENCH & PARRELO

SCHEMATIC DUPLEX PLANTING PLAN
FOR
PROPOSED RESIDENTIAL SITE PLAN
132 BRINGHAM AVE
LOS H. BLANCA NJ



BEFORE

FACING 75 RIDGE ROAD, STAKE LOCATION: 6-7



BEFORE

FACING 81 RIDGE ROAD, STAKE LOCATION: 7-8



BEFORE

FACING 136 BINGHAM AVE, STAKE LOCATION: 21-22



AFTER

FACING 75 RIDGE ROAD, STAKE LOCATION: 6-7



AFTER

FACING 81 RIDGE ROAD, STAKE LOCATION: 7-8



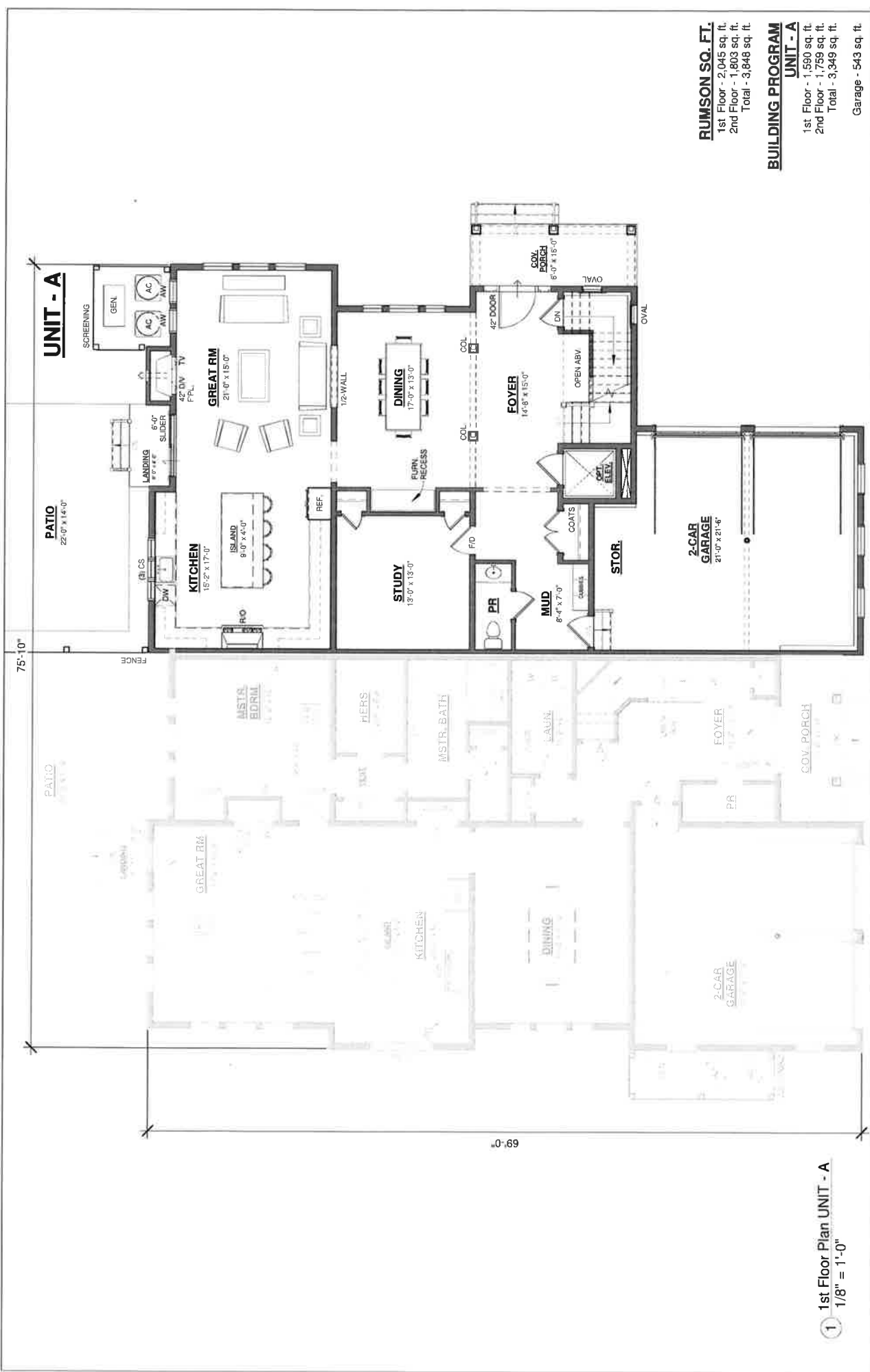
AFTER

FACING 136 BINGHAM AVE, STAKE LOCATION: 21-22

NOTE: SEE SCHEMATIC LANDSCAPE BUFFER PLAN FOR STAKE LOCATIONS

		LANDSCAPE BUFFER SECTIONS FOR PROPOSED RESIDENTIAL SITE PLAN 132 BINGHAM AVE LOT 5, BLOCK #4 WINDY HILLS, WINDY HILLS, NC 27154
DATE: 11/11/2014 TIME: 10:00 AM DRAWN BY: J. HARRIS CHECKED BY: J. HARRIS SCALE: AS SHOWN	SHEET NO. 1 OF 1	PROJECT NO. 14-001





RUMSON SQ. FT.
 1st Floor - 2,045 sq. ft.
 2nd Floor - 1,803 sq. ft.
 Total - 3,848 sq. ft.

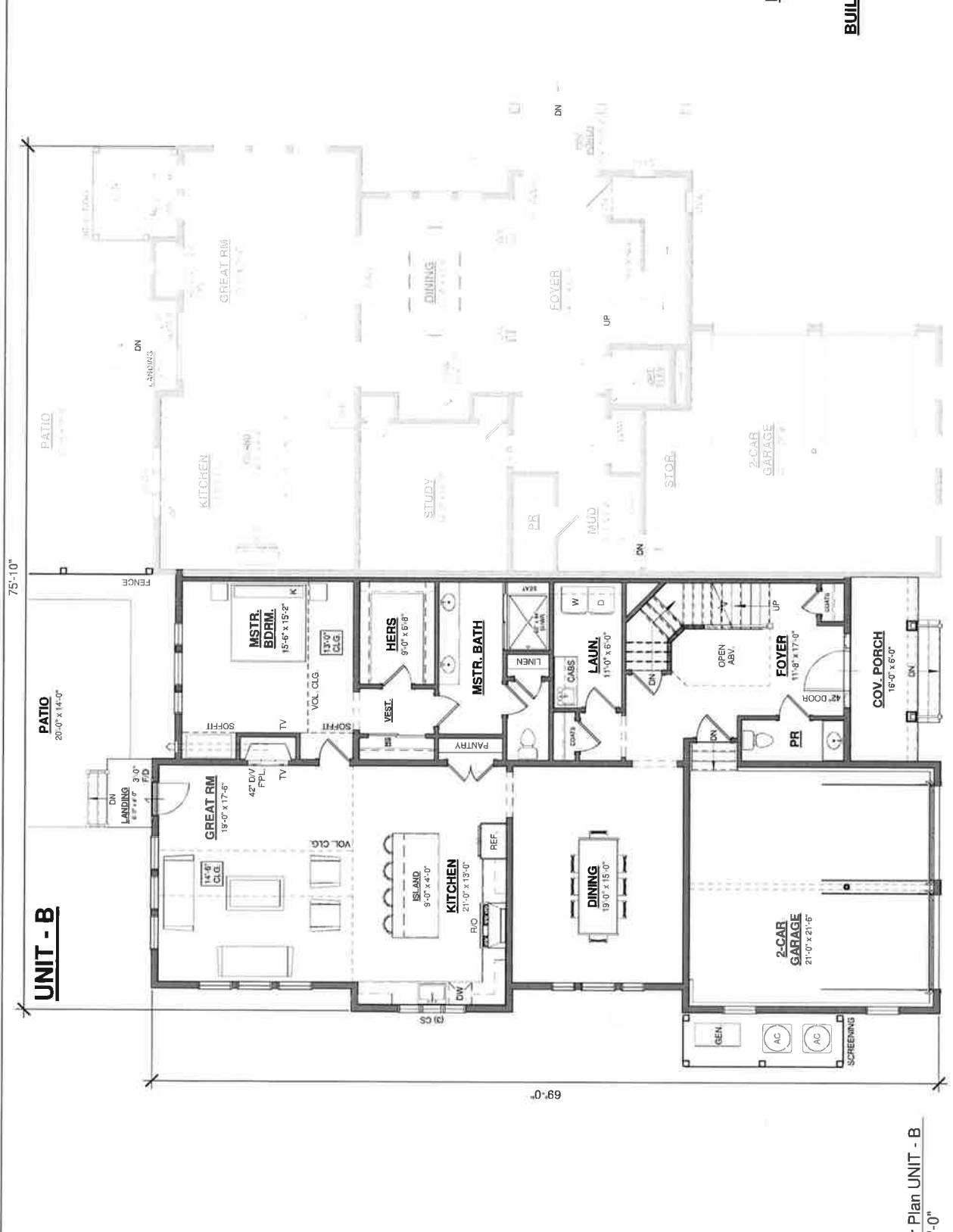
BUILDING PROGRAM
UNIT - A
 1st Floor - 1,590 sq. ft.
 2nd Floor - 1,759 sq. ft.
 Total - 3,349 sq. ft.
 Garage - 543 sq. ft.

1 1st Floor Plan UNIT - A
 1/8" = 1'-0"

UNIT - A



1 2nd Floor Plan UNIT - A
1/8" = 1'-0"



75'-10"

0.69

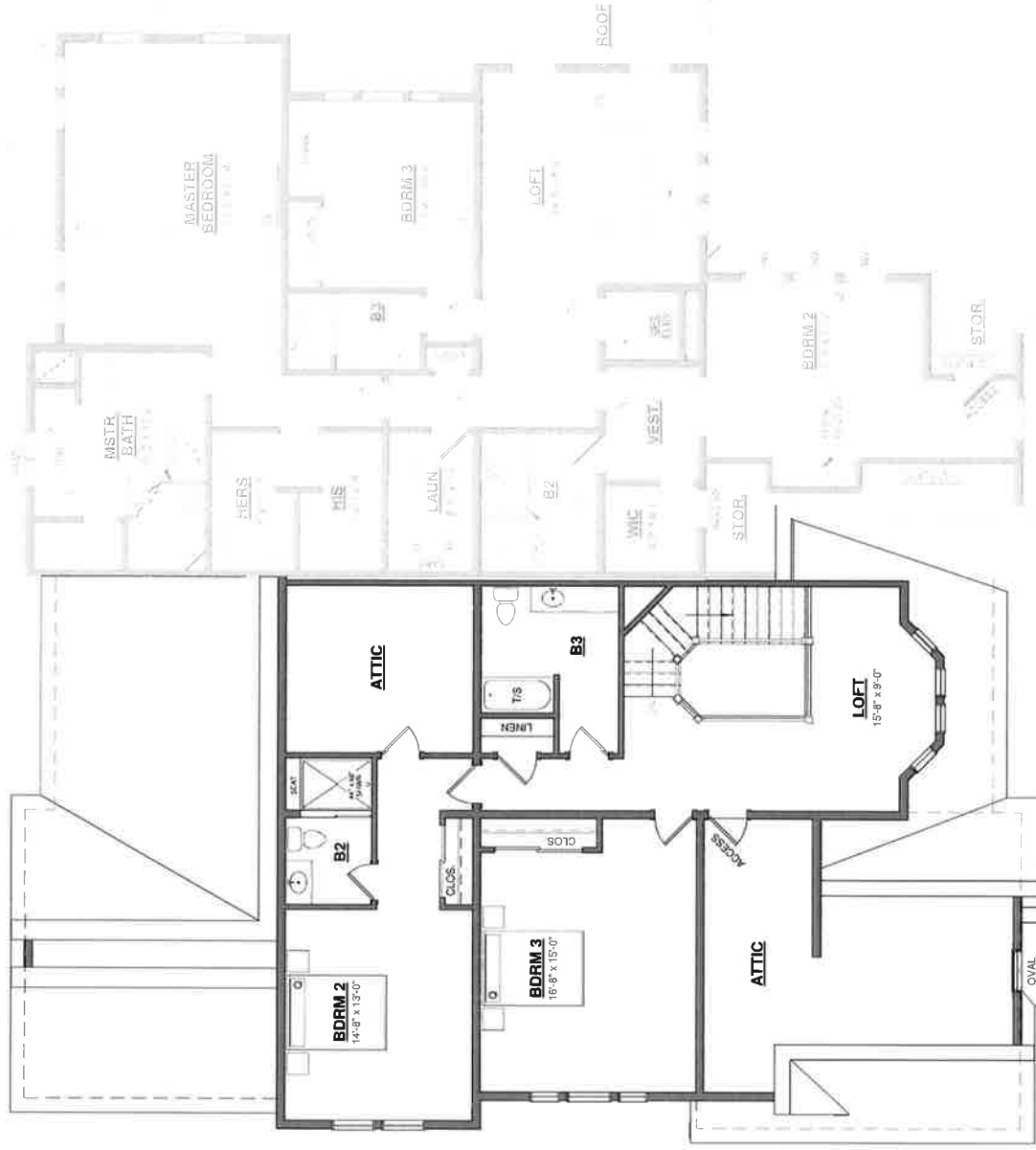
UNIT - B

RUMSON SQ. FT.
 1st Floor - 2,308 sq. ft.
 2nd Floor - 1,273 sq. ft.
 Total - 3,581 sq. ft.

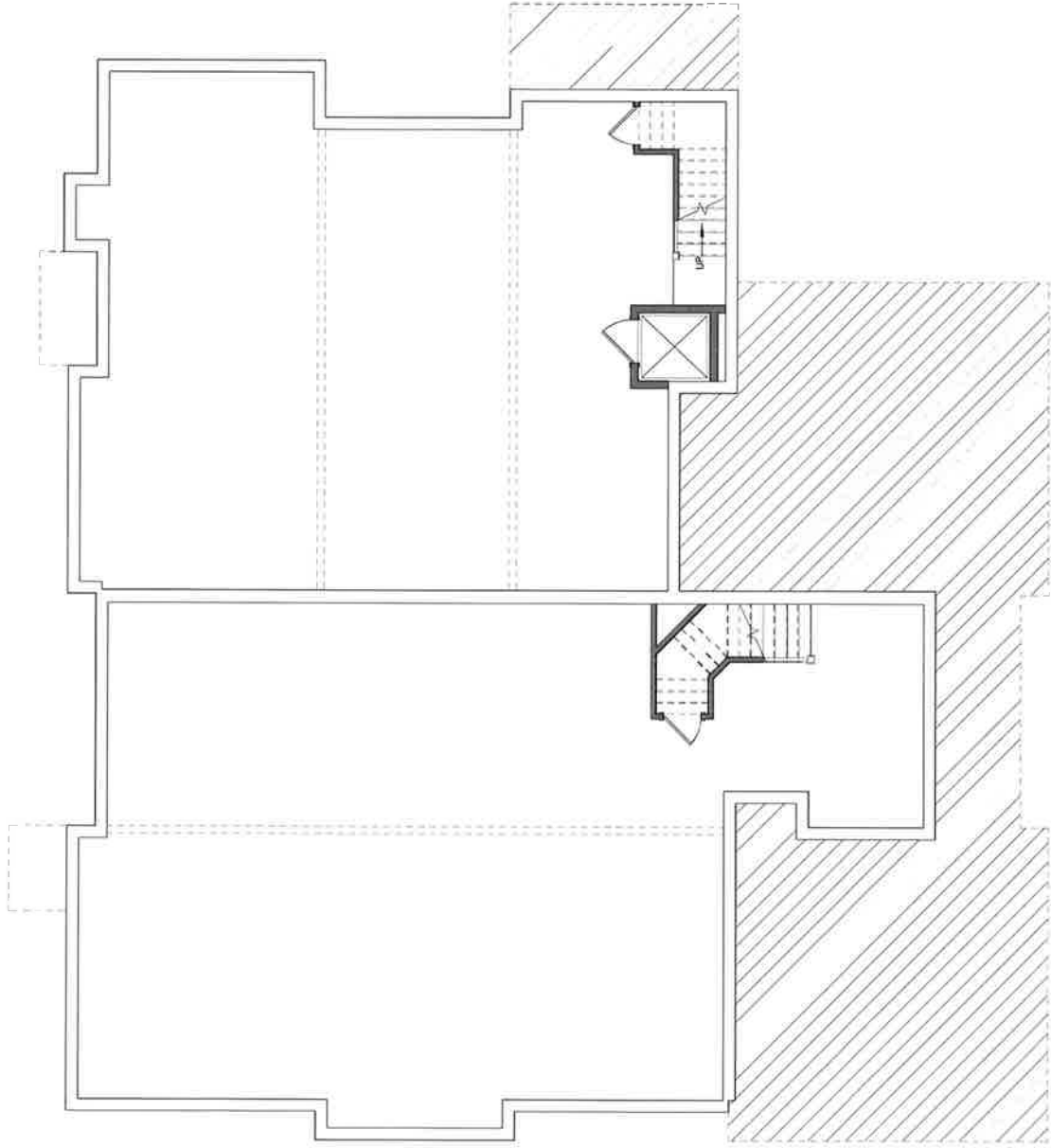
BUILDING PROGRAM
UNIT - B
 1st Floor - 1,908 sq. ft.
 2nd Floor - 1,066 sq. ft.
 Total - 2,974 sq. ft.
 Garage - 489 sq. ft.

1 1st Floor Plan UNIT - B
 1/8" = 1'-0"

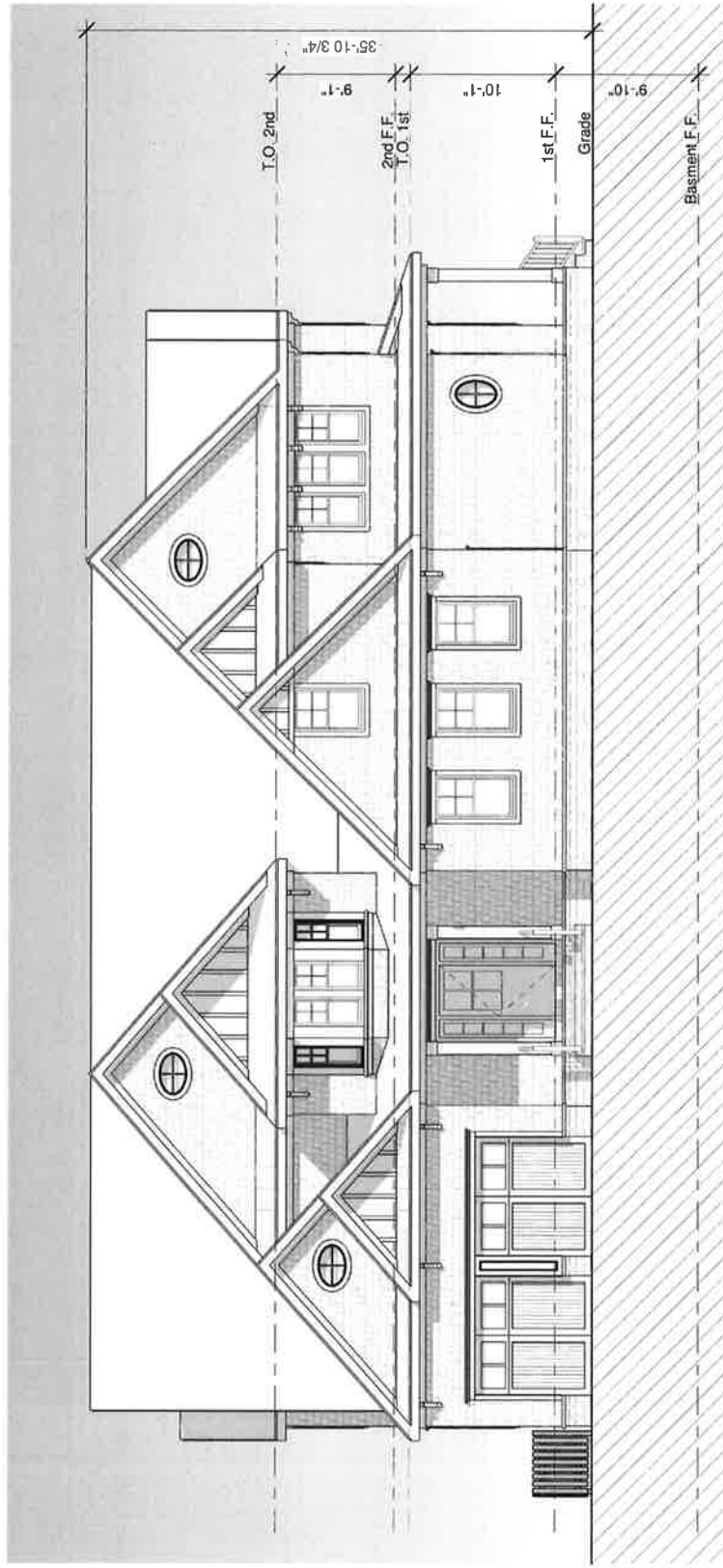
UNIT - B



① 2nd Floor Plan UNIT - B
1/8" = 1'-0"



1 Basement Floor Plan
1/8" = 1'-0"



1 Front Elevation
1/8" = 1'-0"



① Rear Elevation
1/8" = 1'-0"



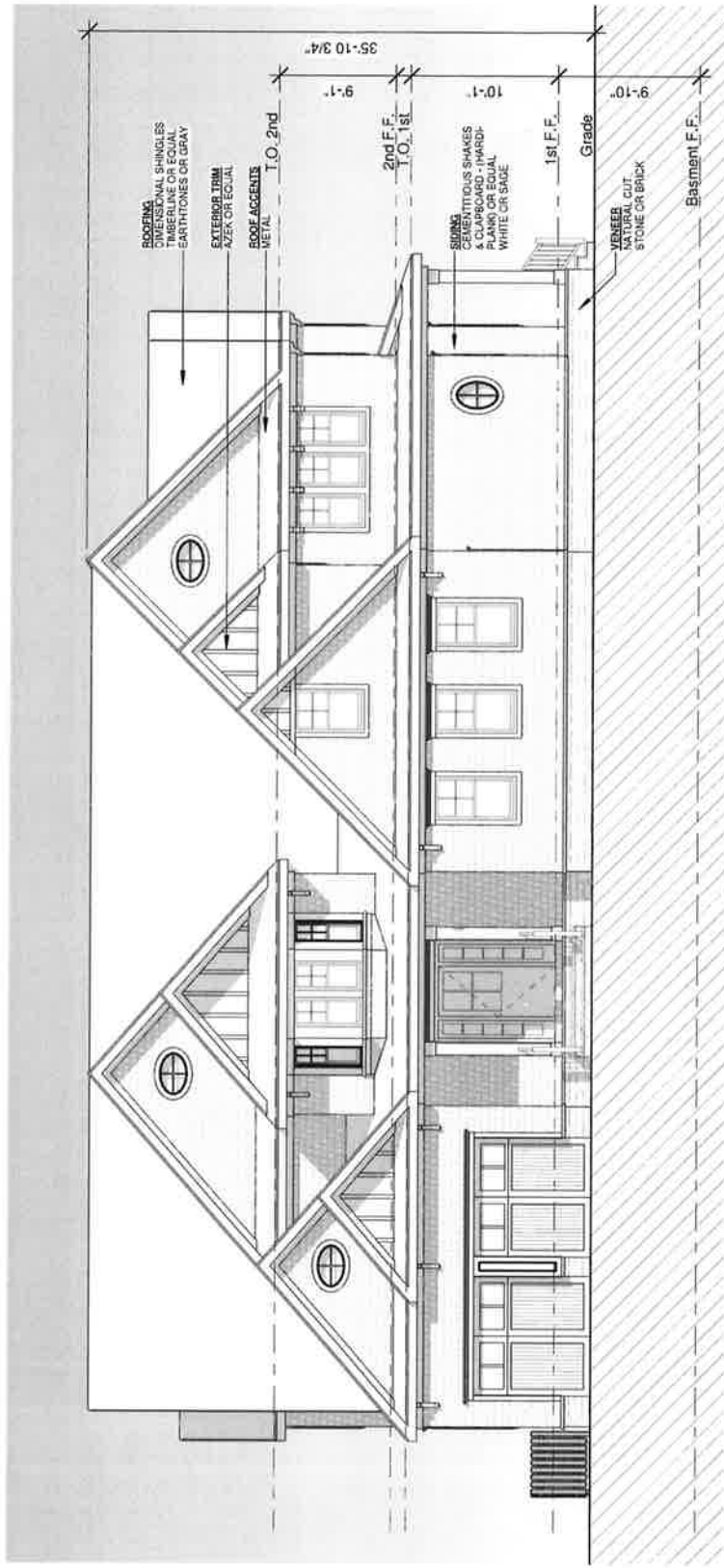
① Left Elevation
1/8" = 1'-0"



① Right Elevation
1/8" = 1'-0"







EXTERIOR MATERIALS

① Front Elevation
1/8" = 1'-0"