

ORDINANCE No. 21-3

AN ORDINANCE AMENDING THE ROY CITY MUNICIPAL CODE TITLE 10 – ZONING BY THE CREATION OF A NEW ZONE “MIXED USE” AND ADDING IT AS CHAPTER 13 – MIXED USE ALONG WITH SEVERAL OTHER CHAPTERS AS DESCRIBED BELOW

WHEREAS, the Roy City Council finds that it is advisable and beneficial to make an update to CH 6 – Zoning by Districts; CH 10 - General Property Development Standards – Table 10-2; CH 13 – Mixed Use; CH - 17 Table of Uses – Table 17-2; CH 19 - Off-Street Parking and Loading; CH 31 - Definitions

WHEREAS, the Roy City Council finds that the modifications regulating the proposed changes will be of benefit and use in enhancing and increasing long-term viability of development within residential, commercial and manufacturing areas which is important to the City; and

WHEREAS, the Roy City Planning Commission held a public hearing as required by law and has favorably recommended amendments to the City Council; and

WHEREAS, the Roy City Council has received and reviewed the recommendation of the Planning Commission and City Staff, finding it to be consistent with the goals and policies of the Roy City Zoning Ordinance and General Plan, and has reviewed and considered the same in a public meeting.

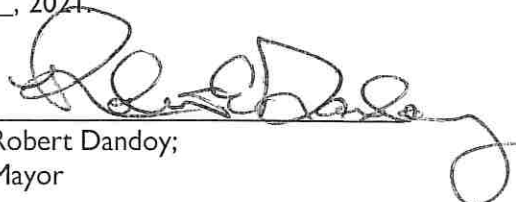
NOW, THEREFORE, Be it hereby ordained by the City Council of Roy City, Utah, that CH 6 – Zoning by Districts; CH 10 - General Property Development Standards – Table 10-2; CH 13 – Mixed Use; CH - 17 Table of Uses – Table 17-2; CH 19 - Off-Street Parking and Loading; CH 31 - Definitions, as attached:

Note - Language to be added has been **bolded** and language to be removed has been ~~struck~~ through.

This Ordinance has been approved by the following vote of the Roy City Council:

Councilmember Burrell	<u>AYE</u>
Councilmember Jackson	<u>AYE</u>
Councilmember Paul	<u>AYE</u>
Councilmember Saxton	<u>NAY</u>
Councilmember Wilson	<u>NAY</u>

This Ordinance shall become effective immediately upon passage, lawful posting, and recording. This Ordinance has been passed by the Roy City Council this 2 day of MARCH, 2021.

  
Robert Dandoy;  
Mayor

Attested and Recorded:

  
Morgan Langholf;  
City Recorder



10-6-1 Zoning by Districts

In accordance with the requirement of the Utah Code, as amended, that zoning within municipalities be by districts, Roy City, as shown on the Roy City Zoning Districts Map, is divided into zoning districts that govern the use, intensity and other requirements for the use of all lands located within the City. The map accompanying this Ordinance, the Roy City Zoning Districts Map (Zoning Map), and incorporated herein by reference, identifies the location and distribution of each zoning district provided by the City. All use, activity, and all required approvals, permits, and licenses shall be found to conform to the provisions, standards, and requirements of the applicable zoning district.

To achieve the purposes of this Ordinance, the following zoning districts are provided:

- 6) Commercial Districts
  - a) Community Commercial (CC)
  - ~~b) Regional Commercial (RC)~~
- 10) Mixed Use Districts**
  - a) Downtown**
    - i. Downtown – East (DT-E)**
    - ii. Downtown – West (DT-W)**
    - iii. Downtown – Gateway (DT-G)**

10-6-2 Zoning Districts Purposes:

The Roy City Zoning Districts are formulated to provide and achieve the following purposes:

- 7) The purpose of the Community Commercial (CC) District ~~and the Regional Commercial (RC) District~~ is to provide suitable areas for the location of various types of commercial activity needed to serve the people and commerce of the city, at appropriate locations. The development standards provided for ~~these~~ **this** Districts ~~are~~ **is** intended to minimize any adverse effect of commercial areas on adjoining areas by achieving maximum compatible integration of land uses, by preserving the aesthetic qualities of the area, while providing safe and efficient commercial uses.
- 10) The Mixed Use (MU) zoning district is intended to provide a variety of land uses that are purposely combined. Mixed use areas are intended to support a broad range of commercial, office, entertainment, recreational, civic and residential uses within a single building. It is intended to transform the area into an attractive and active area with a sense of place that is unique to Roy.**

10-10-24 Tables of Lot and Setback Requirements for Primary Buildings:

TABLE 10-1 - MINIMUM LOT AND SETBACK REQUIREMENTS FOR PRIMARY BUILDINGS IN RESIDENTIAL ZONES

Site Requirements:	CC	<del>RC</del>	LM	M	BP	R	DT-E; DT-W; DT-G	
Maximum Building Heights	40 Feet	<del>60 feet</del>	60 feet	60 feet	60 feet	40 Feet	See 13-3 of this Title	
Minimum Landscaping Required	15% of Total Site	<del>10% of Total Site</del>	10% of Total Site	10% of Total Site	10% of Total Site	20% of Total Site		
Minimum Yard Setbacks:								
Front	20 feet							
Side	As required for Site Plan Approval. A side setback facing a street is a minimum 20 feet.							
Rear	As required for Site Plan Approval.							
Minimum Yard Setbacks – Adjacent to any Residential Zone:								
Front	As required by the adjacent residential zone for a minimum distance of 100 feet.							
Side & Rear	Depth (feet)	Fence/Wall Type						
	20' up to 30'	Stone, Brick, Colored Block, masonry or Precast Concrete						
	30' or more	Vinyl, Wood, Stone, Brick, Colored Block, masonry or Precast Concrete						
Note: See 10-10-31 for additional requirements								

## 10-13-1 Purpose:

- 1) Purpose of this Chapter provides guidance for how Roy City should grow in the future and sets forth the opportunities and actions needed to address the challenges. The purposes of this Chapter are to:
  - a) To assist in the fulfillment of the goals, objectives and policies of the Roy City General Plan and any amendments thereto.
  - b) Stimulate the economy and City revenue by attracting, encouraging and incentivizing, new and existing business, investments, and redevelopment.
  - c) To provide a maximum choice in the types of environments for commercial, employment, and residential uses and facilities.
  - d) To recognize the existence of areas with unusual development needs or opportunities requiring unique development standards;
- 2) Graphics. The graphics, tables, and text utilized throughout this chapter are regulatory. In case of a conflict, text shall control over tables and graphics and tables shall control over graphics.

## 10-13-2 Uses:

- 1) General Requirements.
  - a) General Provisions. The following general provisions apply to the uses outlined in this section.
    - i) A lot may contain more than one use.
    - ii) Each of the uses may function as either a principal use or accessory use on a lot, unless otherwise specified.
    - iii) Uses are either permitted by-right in a district, permitted by-right with specific development or design parameters, or require a Conditional Use Permit (refer to 10-15) in order to be developed.
    - iv) Each use shall be located within a permitted Building Type (Refer to 10-13-3 Building Types), unless otherwise specified.
    - v) Each use may have both indoor and outdoor facilities, unless otherwise specified.
  - b) Organization. The uses are grouped into general categories, which may contain lists of additional uses or clusters of uses.
    - i) Unlisted Similar Use. If a use is not listed but is similar in nature and impact to a use permitted within a zoning district, the Zoning Administrator may interpret the use as permitted. (see 10-3-5)
      - (1) The unlisted use will be subject to any development standards applicable to the similar permitted use.
      - (2) If the unlisted use is similar in nature and impact to a use requiring a Conditional Use Permit, the Zoning Administrator may interpret the use as also requiring a Conditional Use Permit.
    - ii) Unlisted Dissimilar Use. If a use is not listed and cannot be interpreted as similar in nature and impact to a use within a zoning district that is either permitted or requires a Conditional Use Permit, the use is not permitted and may only be approved through an amendment of this article.
  - c) Use Table. Table 2.1 (1). Uses by District outlines the permitted uses in each zoning district. Each use is given one of the following designations for each zoning district in which that use is permitted.
    - i) Permitted (“P”). These uses are permitted by-right in the districts in which they are listed.
    - ii) Permitted in Upper Stories Only (“U”). These uses are permitted by-right in the districts in which they are listed, provided that the uses are located in the upper stories of a structure. These uses may also be located in the ground story provided that they are located beyond a depth of at least 30 feet from the front facade.
    - iii) Permitted with Development Standards (“D”). These uses are permitted by-right in the districts in which they are listed, provided that they are developed utilizing the listed

development standards. These standards are intended to alleviate any negative impacts associated with the use, making it appropriate in a district where it otherwise might not have been appropriate.

- iv) Requires a Conditional Use Permit (“C”). These uses require administrative review and approval (refer to 10-15) in order to occur in the districts in which they are listed and must follow any applicable development standards associated with the use as well as meet the requirements of the Conditional Use.
  - v) Listed uses that are not permitted in the district are indicated by a blank space.
  - d) Building Types. The uses permitted within the district may be further limited by the building types permitted. Refer to 10-13-3 Building Types.
- 2) Definition of Uses.
- a) Residential and Lodging Uses. A category of uses that include several residence types.
    - i. Residential. One or more dwelling units located within the principal structure of a lot, in which the units may or may not share a common wall with the adjacent (horizontally or vertically) unit or have individual entrances from the outside.

Uses	Districts		
	DT-E	DT-W	DT-G
<b>Residential &amp; Lodging</b>			
Residential	P	P	P
Hotel & Inn	P	P	P
Residential Care	P	P	P
<b>Civic</b>			
Assembly	P	P	P
Transit station	P	P	P
Hospital & Clinic	P	P	P
Library/Museum/Post Office (no distribution)	P	P	P
Police & Fire	C	C	C
School	P	P	P
<b>Retail</b>			
Neighborhood Retail	P	P	P
General Retail	P	P	P
Outdoor Sales Lot			C
<b>Service</b>			
Neighborhood Service	P	P	P
General Service	P	P	P
Vehicle Service			C
<b>Office &amp; Industrial</b>			
Office	P	P	P
Craftsman Industrial			P
<b>Infrastructure</b>			
Parking Lot	D	D	D
Parking Structure	D	D	D
Utility & Infrastructure	C	C	C
Open Space	D	D	D
<b>Accessory Uses</b>			
Home Occupation	P	P	P
Outdoor storage of Goods			D
Parking Lot	P	P	P
Parking Structure	D	D	D

Key  
 P Permitted  
 D Permitted with Development Standards  
 U Permitted in Upper Stories Only  
 C Requires Conditional Use Approval  
 Table 2.1 (1). Uses by District.

- ii) Hotel & Inn. A facility offering temporary or permanent lodging to the general public consisting of sleeping rooms with or without in-room kitchen facilities. Secondary service uses may also be provided, such as restaurants and meeting rooms. Rooms shall be accessed from the interior of the building. In the districts where a Hotel or Inn is permitted with development standards (“D”), the following applies:
  - (1) Bed and Breakfasts are permitted.
- iii) Residential Care. A facility offering temporary or permanent lodging to the general public consisting of an unlimited number of sleeping rooms with or without in-room kitchen facilities. Residential care includes such uses as independent and assisted living facilities, nursing homes, residential care homes, and transitional treatment facilities. Assistance with daily activities may be provided for residents. Secondary service uses may also be provided, such as restaurants and meeting rooms. Rooms shall be accessed from the interior of the building. In the districts where a residential care facility is permitted with development standards (“D”),
  - (1) Bed and Breakfasts are permitted.
- b) Civic Uses. A category of uses related to fulfilling the needs of day-to-day community life including assembly, public services, educational facilities, and hospitals.
  - i) Assembly. A facility that has organized services, meetings, or programs to benefit, educate, entertain, or promote discourse amongst the residents of the community in a public or private setting. Assembly includes such uses as a community center, house of worship, and private clubs and lodges. In the districts where an outdoor sales lot is permitted with development standards (“D”), the following applies:
    - (1) Parking shall be limited to an area less than the total building footprint area.
    - (2) The facility shall primarily serve the adjacent neighborhood.
  - ii) Hospital & Clinic. A licensed institution providing medical care and health services to the community. These services may be located in one building or clustered in several buildings and may include laboratories, in- and out-patient facilities, training facilities, medical offices, staff residences, food service, pharmacies, and gift shop.
  - iii) Library/Museum. A structure open to the general public housing educational, cultural, artistic, or historic information, resources, and exhibits. May also include food service and a gift shop.
  - iv) Police and Fire. A facility providing public safety and emergency services; training facilities, locker rooms, and limited overnight accommodations may also be included. Police and fire facilities require a Special Use approval. The facilities shall be housed in a permitted building, but shall have the following additional allowances:
    - (1) Garage doors are permitted on the front facade.
    - (2) Exempt from maximum driveway widths.
  - v) Post Office. A publicly accessed facility for the selling of supplies and mail related products and the small scale collection and distribution of mail and packages. Large-scale postal sorting and distribution is not permitted.
  - vi) School. An education facility with classrooms and offices, that may also include associated indoor facilities such as ball courts, gymnasium, theater, and food service.
- c) Retail Uses. A category of uses involving the sale of goods or merchandise to the general public for personal or household consumption.
  - i) Neighborhood Retail. A use in this category occupies a space of less than 12,000 square feet. Neighborhood retail includes such uses as those listed in Table 2.2 (1). Typical Retail Uses.
  - ii) General Retail. A use in this category includes all Neighborhood Retail uses occupying a space of greater than 12,000 square feet and such uses as those listed in Table 2.2 (1). Typical Retail Uses.
  - iii) Outdoor Sales Lot. A use involving the sale of goods or merchandise to businesses and/or the general public, where the majority of the goods are stored or displayed outdoors. Outdoor sales lots include such uses as the sale and rental of automobiles, trucks, trailers, boats, and recreational vehicles; and the sale of building materials, landscape materials, and garden supplies. In the districts where an outdoor sales lot is permitted by Special Use (“C”), the following applies:
    - (1) Bed and Breakfasts are permitted.

- (1) Not permitted on corner parcels.
  - (2) Includes permanent construction of a building utilizing one of the permitted Building Types in the district.
- d) Service. A category of uses that provide patrons services and limited retail products related to those services. Visibility and accessibility are important to these uses, as most patrons do not utilize scheduled appointments.
- i) Neighborhood Service. A use in this category occupies a space of less than 12,000 square feet. Neighborhood service includes such uses as those listed in Table 2.2 (2).
  - ii) General Service. A use in this category includes all Neighborhood Service uses occupying a space of greater than 12,000 square feet and such uses as those listed in Table 2.2 (2).
  - iii) Convenience store. A use that stocks a range of everyday items such as coffee, groceries, snack foods, confectionery, soft drinks, tobacco products, over-the-counter drugs, toiletries, newspapers, and magazines. If Gasoline is also sold the use can only be within the “General” district
- e) Vehicle Service. A business involving the servicing of vehicles and/or the distribution of fuel to residents of the community and region. A convenience store may also be included as a secondary use, as well as the sale of propane and kerosene. Vehicle service includes such uses as automotive filling stations, vehicle repair, and tire sales and mounting. In the districts where vehicle service is permitted with development standards (“D”), the following apply:
- i) Use Limitation. Repair and wash facilities for semi-trucks, recreational vehicles, boats, and other oversized vehicles are not permitted.
  - ii) Service Bays. Vehicular service bays, including garages and car wash bays, shall not be located on the front facade, unless otherwise permitted by the Building Type.
  - iii) Outdoor Storage. Disabled or inoperable vehicles and those awaiting pick-up may be stored outdoors if:
    - (1) The vehicles that are being repaired or are in queue for repairs longer than 72 hours must be screened.
    - (2) The storage area is located in the rear yard screened from view of the front lot line.
    - (3) The storage area is screened using the Side & Rear yard buffer outlined in 7.0 Landscape, regardless of the adjacent land uses.
  - iv) Outdoor Activities
    - (1) All repairs must occur inside a structure.
    - (2) Vacuuming or washing activities may occur in open air, but must be located in the side or rear yards, screened from the front lot line.
    - (3) Temporary outdoor display of seasonal items, such as windshield wiper fluid or salt, is permitted during business hours under the canopy and adjacent to the principal structure.
- f) Office Uses. A category of uses for businesses that involve the transaction of affairs of a profession, service, industry, or government. Patrons of these businesses usually have set appointments or meeting times; the businesses do not typically rely on walk-in customers. Office uses include those listed in Table 2.2 (3). In the districts where an office use is permitted with development standards (“D”), the use is considered a home occupation and shall meet the following standards:
- i) In a live/work building, the use is exempt from the following standards.
    - (1) Hour of Operation. Permitted hours of operations are 6:00 AM to 9:00 PM.
    - (2) Residence. The operator of the business shall reside in the dwelling unit.
    - (3) Vehicles. Parking of a vehicle associated with the business must be accommodated on site.
- g) Craftsman Industrial. A use involving small scale manufacturing, production, assembly, and/or repair with little to no noxious by-products that includes a showroom or small retail outlet. Craftsman industrial includes such uses as those found in Table 2.2 (4). This use may also include associated facilities such as offices and small scale warehousing, but distribution is limited. The maximum overall gross floor area is limited to 20,000 square feet, unless otherwise noted. In the districts where a craftsman industrial use is permitted with

development standards (“D”), the following apply:

- i) A minimum 20% of gross floor area shall be dedicated to a showroom located at the front of the space.
  - ii) Outdoor activities are not permitted.
  - iii) Outdoor Storage to follow requirements found within 10-17-2 2.
- h) **Parking Lot.** A lot that does not contain a permitted building or Open Space Type and is solely used for the parking of vehicles. In the districts where a parking lot is permitted with development standards (“D”), the following apply:
- i) **Corner Lots.** A corner lot shall not be used as a parking lot.
  - ii) **Adjacent Parking Lots.** Two parking lots cannot be located directly adjacent to one another, unless associated with a building.
  - iii) **Single Family.** Parking lot cannot be associated with a single family use.
  - iv) **Distance.** Parking lot must be within 660 feet of the principal entrance to the associated use unless:
    - (1) At least 75% of the spaces are dedicated for public use.
    - (2) An approved parking agreement is in place (refer to 10-13-6 Parking).
  - v) **Pedestrian Access.** Must be connected to associated use by a dedicated, public pedestrian pathway.
  - vi) **Commercial Vehicles.** Parking lots for the sole purpose to park commercial vehicles that are not associated with a building are not permitted in these districts.
- i) **Parking Structure.** A parking structure on a lot that does not contain a permitted Building Type and is solely used for the parking of vehicles. In the districts where a parking structure is permitted with development standards (“D”), the following apply:
- i) **Corner Lots.** A corner lot shall not be used for a parking structure.
  - ii) **Adjacent Parking Lots.** Two parking facilities (lots or structures) cannot be located directly adjacent to one another.
  - iii) **No facade of the Parking Structure shall be located on, 5600 South, 1900 West or Riverdale Road unless the ground floor of the parking structure contains an active use or the structure is Architecturally treated.**
  - iv) **Distance.** Parking lot must be within 660 feet of the principal entrance to the associated use unless:
    - (1) At least 75% of the spaces are dedicated for public use.
    - (2) An approved parking agreement is in place (refer to 10-13-6 Parking).
  - v) **Pedestrian Access.** Must be connected to associated use by a dedicated, public pedestrian pathway.
  - vi) **Commercial Vehicles.** Parking structures for commercial vehicles are not permitted in these districts.
- j) **Utility and Infrastructure.** A lot that is primarily utilized for the City’s infrastructure needs. Utility and infrastructure includes such uses as electric or gas services, sewage treatment, water treatment and storage, and energy conversion systems. In all districts, utilities and infrastructure require a Conditional Use Permit (“C”).
- k) **Open Space.** A use of land for active or passive, public or private, outdoor space, including such uses as parks, plazas, greens, playgrounds, or community gardens. Refer to 10-13-4 Open Space Types for permitted forms of open space. Open space uses may also be utilized to host temporary private or community events, such as a farmer’s market or art fair. In the districts where open space is permitted with development standards (“D”), the following apply:
- i) **Parking.** Parking lots are not permitted in open space in any district unless otherwise specified by the Open Space Type.
  - ii) **Stormwater Accommodations.** Open space that incorporates stormwater management on a site or district scale is encouraged.
    - (1) Stormwater facilities shall be designed to accommodate additional uses, such as an amphitheater or a sports field.
    - (2) Stormwater facilities shall be designed not to be fenced and shall not impede public use of the land they occupy.

- iii) This use may involve small scale food and beverage service, no more than 200 square feet in space, located in a kiosk,
- iv) Buildings located directly adjacent to an open space use shall treat facades facing this use with street facade requirements.
- l) Accessory Uses. A category of uses that are not permitted to serve as the principal use on a zoning lot.
  - i) Home Occupation. An occupational use that is clearly subordinate to the principal use as a residence and does not require any alteration to the exterior of a building.
  - ii) Parking Lot. An uncovered paved surface used solely for the parking of vehicles, intended for use by the occupants in an adjacent building on the lot. Parking lot locations are regulated by Building Type. Refer to 10-13-3 Building Types.
  - iii) Parking Structure. A structure used solely for the parking of vehicles, intended for use by the occupants in an adjacent building on the lot. Parking Structures within the buildings are regulated per Building Type. Refer to 10-13-3 Building Type. Separate structure locations are also regulated by Building Type, but shall also meet all of the requirements of 10-13-2 (i) Parking Structure.
  - iv) Outdoor Storage of Goods. Permanent outdoor storage of goods not typically housed or sold indoors, such as large scale materials and building and landscape supplies. In the districts where outdoor storage of goods is permitted with development standards (“D”), the following development standards apply:
    - (1) Outdoor storage areas shall be located in the rear or side yard of the lot.
    - (2) Loose materials shall not be stacked higher than the screening fence.
    - (3) Loose materials shall at a minimum be stored in a three-sided shelter
    - (4) Materials shall be set back a minimum of five feet from any lot line.
    - (5) All outdoor storage areas shall be screened from view of adjacent parcels and vehicular rights-of-way using the heavy side or rear buffer, refer to 10-13-5 Landscape Requirements for Side and Rear Buffer.

**Neighborhood Retail**

Antique Shop  
 Apparel & Accessory Store  
 Art & Education Supplies  
 Bakery, Retail  
 Bicycle Sales & Repair  
 Book, Magazine & Newspaper Store  
 Building Materials, Hardware, and Garden Supply  
 Camera & Photo Supply Store  
 China & Glassware Shop  
 Drug Store/Pharmacy  
 Medical Cannabis Pharmacy\*  
 Fabric & Craft Store  
 Florist  
 Gift, Novelty & Souvenir Shop  
 Grocery Store  
 Hardware Store  
 Hobby Shop  
 Jewelry Sales & Repair  
 Luggage & Leather Goods  
 Music Store  
 Musical Instrument Repair & Sales  
 Office Supply  
 Optical goods  
 Paint & Wallpaper  
 Party Supply Shop  
 Pet & Pet Supply  
 Specialty Food Market (Butcher, Candy, Fish Market, Produce, etc.)  
 Sporting Good Sales & Rental  
 Stationary & Paper Store  
 Toy Shop  
 Video/Game Sales & Rental

\* - refer to chapter 17 of this Title for regulations

\*\* - refer to Title 3, CH 2 in Roy City Code for Alcoholic Beverage regulations

Table 2.2 (1) Typical Retail Uses

**General Retail**

All Neighborhood Retail Uses  
 Appliance & Electronic Sale & Service  
 Automotive Supply (No service)  
 Cabinet Supply (Display only)  
 Computer Software Sales & Service  
 Department Store  
 Electrical Supplies  
 Gun Shop  
 Home Furnishings & Accessories Sales & Rental  
 Liquor Store – State Owned\*\*  
 Medical Supply Store, Sales & Rental  
 Merchandise Vending Machine Operators  
 Motorcycle & Scooter Sales & Rental

**Office**

Architecture/Engineering/Design  
 Building Contractor (office only)  
 Business Consulting  
 Charitable Institutions  
 Computer Programming & Support  
 Detective Services  
 Educational Services (tutor & testing)  
 Employment Agency  
 Financial & Insurance  
 Governmental Offices

Table 2.2 (3) Typical Office Uses

Legal Services  
 Management Services  
 Physical Therapy / Physical Rehabilitation  
 Medical & Dental with Laboratory  
 PR & Advertising  
 Property Development  
 Radio & TV Studio  
 Real Estate  
 Recording & Sound Studio  
 Research & Development  
 Surveying

**Neighborhood Service**

Arcade  
 Bank or other Financial Service  
 Barber Shop, Beauty Salon & Spa  
 Ballard Hall  
 Catering  
 Convenience Store  
 Day Care, Adult & Children  
 Dry Cleaning & Laundry  
 Emergency Care Clinics  
 Fitness, Dance Studio & Gym  
 Framing  
 Locksmith  
 Mailing Services  
 Mobile Food Trucks \*  
 Pet Grooming  
 Photocopying & Printing  
 Photography Studio & Supplies (on-site processing permitted)  
 Restaurants \*\*  
 Shoe Repair  
 Tailor & Seamstress  
 Tanning Salon  
 Theater  
 Training Center  
 Travel Agency & Tour Operator  
 Veterinarian

\* - refer to chapter 17 of this Title for regulations

\*\* - refer to Title 3, CH 2 in Roy City Code for Alcoholic Beverage regulations

Table 2.2 (2) Typical Service Uses

**General Service**

All Neighborhood Service Uses  
 Animal Boarding (Interior Only)  
 Aquatic Facilities  
 Baiting Cages  
 Bowling Alley  
 Concert Hall  
 Exterminating & Disinfecting Service  
 Funeral Home  
 Miniature Golf Course  
 Recreation, Commercial Indoor  
 Repair of Small Goods & Electronics  
 Shooting & Archery Ranges (Indoor Only)  
 Skating Rinks  
 Microbrewery\*\*  
 Tavern\*\*  
 Nightclub\*\*

**Craftsman Industrial**

Agriculture Equipment & Supply  
 Apparel & Finished Fabric Products  
 Bakery & Confections  
 Beverage, including Beer, Wine, Liquor, Soft Drinks Coffee  
 Botanical Products  
 Brooms & Brushes  
 Canning & Preserving Food  
 Check Cashing \*  
 Commercial Scale Copying & Printing  
 Construction Special Trade Contractors  
 Cut Stone & Cast Stone  
 Dairy Products  
 Electronics Assembly  
 Engraving  
 Electrical Fixtures  
 Fabricated Metal Products  
 Film Making  
 Furniture & Fixtures  
 Glass  
 Heating, Air Conditioning & Plumbing Supplies, Sales & Service  
 Home Furniture & Equipment Repair

\* - refer to chapter 17 of this Title for regulations

Table 2.2 (4) Typical Craftsman Uses

Household Textiles  
 Ice  
 Jewelry, Watches, Clocks & Silverware  
 Leather Products  
 Machine Sales & Rental  
 Meat & Fish Products (no processing)  
 Musical Instruments & Parts  
 Pasta  
 Pawn Shop \*  
 Pottery, Ceramics & Related Products  
 Printing, Publishing & Allied Industries  
 Shoes & Boots  
 Signs & Advertising  
 Small Goods Manufacturing  
 Smithing  
 Smoke Shop \*  
 Tattoo/Piercing Parlor \*  
 Taxidermy  
 Textile, Fabric, Cloth  
 Toys & Athletic Goods  
 Upholstery  
 Woodworking

10-13-3 Building Types:

- I) Introduction to Building Type Standards.
  - a) Introduction. The Building Types detailed in 10-13-3 Building Types outline the required building forms for new construction and renovated structures within the Districts
  - b) General Requirements. All Building Types must meet the following requirements.
    - i) Zoning Districts. Each Building Type shall be constructed only within its designated districts. Refer to Table 3.1 (1) Permitted Building Types by Districts.
    - ii) Uses. Each Building Type can house a variety of uses depending on the district in which it is located. Refer to 10-13-2 Uses for uses permitted per district. Some Building Types have additional limitations on permitted uses.
    - iii) No Other Building Types. All buildings constructed must meet the requirements of one of the Building Types permitted within the zoning district of the lot.
    - iv) Permanent Structures. All buildings constructed shall be permanent construction without a chassis, hitch, or wheels, or other features that would make the structure mobile, unless otherwise noted.
    - v) Accessory Structures.
      - (1) Attached accessory structures are considered part of the principal structure.
      - (2) Detached accessory structures are permitted per each Building Type and shall comply with all setbacks except the following:
        - (a) Are not permitted in the front yard.
        - (b) Shall be located behind the principal structure in the rear yard.
        - (c) Shall not exceed the height of the principal structure

Building Types by District		Districts		
		Downtown "East"	Downtown "West"	Downtown "Gateway"
Building Types	Storefront	P	P	P
	General Stoop	P	P	P
	Limited Bay			P
	Large Format	P	P	P
	Civic Building	P	P	P
P Permitted				

Table 3.1 (1). Permitted Building Types by District.

- 2) Explanation of Building Type Table Standards. The following explains and further defines the standards outlined on the tables for each Building Type, refer to 10-13-3 3) through 10-13-3 7).
  - a) Building Siting. The following explains the line item requirements within the first section of each Building Type Table entitled "Building Siting".
    - i) Multiple Principal Structures. The allowance of more than one principal structure on a lot.
    - ii) Front Property Line Coverage. Refer to Figure 3.2 (1). Measuring Front Property Line Coverage. Measurement defining the minimum percentage of street wall or building facade required along the street. The width of the principal structure(s) (as measured within the front build-to zone) shall be divided by the maximum width of the front build-to zone (BTZ).
      - (1) Certain buildings have this number set to also allow the development of a courtyard along the front property line.
      - (2) Some frontage types allow side yard parking to be exempted from the front lot line coverage calculation. If such an exemption is permitted, the width of up to one double loaded aisle of parking, located with the drive perpendicular to the street

and including adjacent sidewalks and landscaping, may be exempted, to a maximum of 72 feet.

- iii) Occupation of Corner. Occupying the intersection of the front and corner build-to zones with a principal structure.
  - iv) Front Build-to Zone. The build-to zone or setback parallel to the front property line. Building components, such as awnings or signage, are permitted to encroach into the build-to zone
    - (1) All build-to zone and setback areas not covered by building must contain either landscape, patio space, or sidewalk space.
  - v) Corner Build-to Zone. The build-to zone or setback parallel to the corner property line.
    - (1) All build-to zone and setback areas not covered by building must contain either landscape, patio space, or sidewalk space.
  - vi) Minimum Side Yard Setback. The minimum required setback along a side property line.
  - vii) Minimum Rear Yard Setback. The minimum required setback along a rear property line.
  - viii) Minimum & Maximum Lot or Building Width. Depending on the Building Type, either the minimum or maximum building or unit width will be noted or the minimum and maximum width of a lot, all measured at or parallel to the front property line.
  - ix) Parking & Loading Location. The yard in which a surface parking lot, detached garage, attached garage door access, loading and unloading, and associated drive is permitted.
  - x) Vehicular Access. The permitted means of vehicular ingress and egress to the lot.
- b) Height. The following explains the line item requirements for each Building Type Table

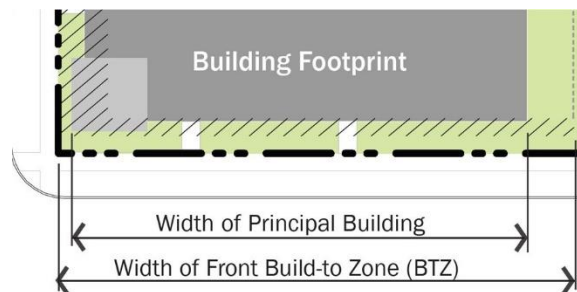


Figure 3.2 (1). Measuring Front Property Line Coverage

within the second section entitled “Height”.

- i) Minimum Overall Height. The minimum overall height for the building shall be located within the build-to zone; stories above the required minimum height may be stepped back from the facade.
- ii) Maximum Overall Height. The sum of a building’s total number of stories.
  - (1) Half stories are located either completely within the roof structure with street-facing windows or in a visible basement exposed a maximum of one half story above grade.
  - (2) A building incorporating both a half story within the roof and a visible basement shall count the height of the two half stories as one full story.
  - (3) Some Building Types require a building facade to step back as its height increases. If required, the upper stories of any building facade with street frontage shall be setback a designated amount beyond the building facade of the lower stories.
- iii) Ground Story and Upper Story, Minimum and Maximum Height. (Refer to Figure 3.2 (2). Measuring Height). Each frontage type includes a permitted range of height in feet for each story. Additional information is as follows:
  - (1) Floor height is measured in feet between the floors of a story to the floor of the story above it.
  - (2) Floor height requirements apply only to street facing facades.

- (3) For single story buildings and the uppermost story of a multiple story building, floor to floor height shall be measured from the floor of the story to the tallest point of the ceiling.

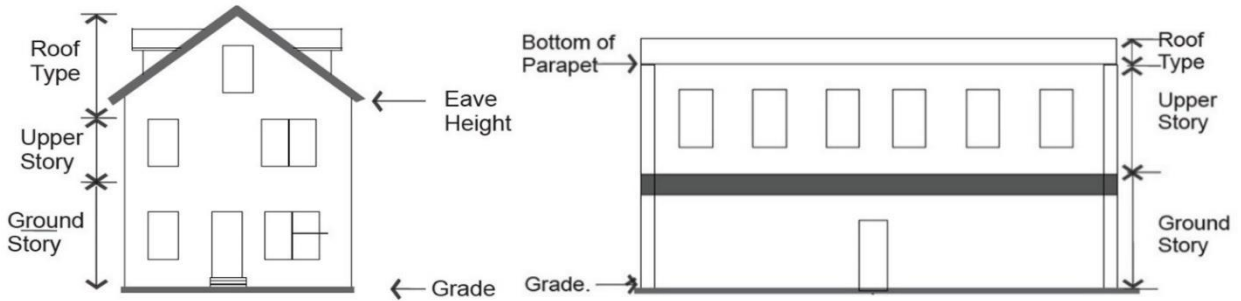


Figure 3.2 (2) Measuring Height

- iv) Existing Single Family Residential Buffer. In order to assure compatibility of new construction with adjacent single family neighborhoods.
- (1) Transitions for Single Family Homes Sharing a Property Line. A 20-foot setback is required from the property line adjacent to a single family detached home. At 20 feet, 25-foot building height is permitted in between the property line and 30 feet. After 30 feet, every 1 foot in additional horizontal distance from the property line permits 1 foot of additional vertical building height. After 40', building heights, as permitted in 10-13-3 Building Types, is allowed. See Figure 3.2 (3).

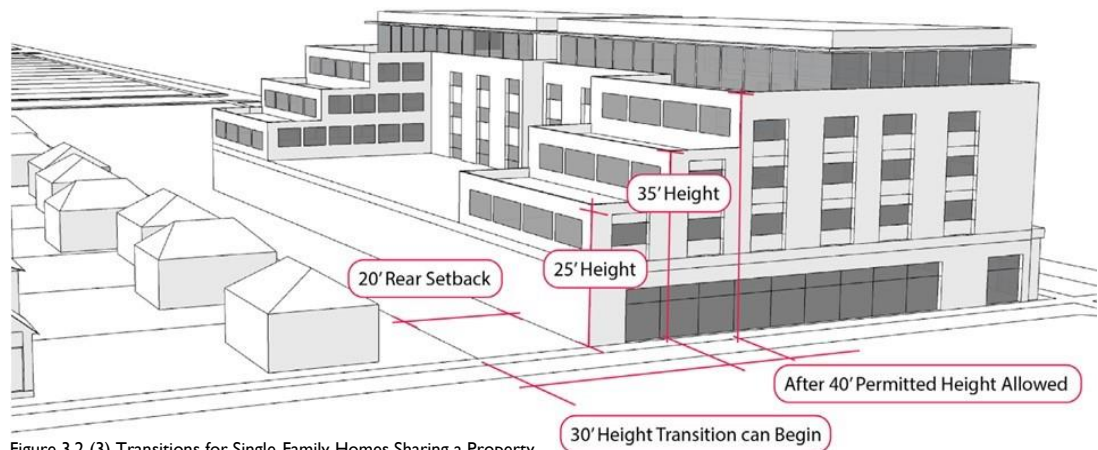


Figure 3.2 (3) Transitions for Single-Family Homes Sharing a Property

- (2) Transitions for Single Family Homes Across a Public Street. A 10-foot setback is required from the right-of-way line for any building directly across the street from an existing single-family or two-family zoned parcel. At 10 feet, a 35-foot building height is permitted in between the property line and 30 feet. After 30 feet, building heights, as permitted in 10-13-3 Building Types, is allowed. See Figure 3.2 (4).

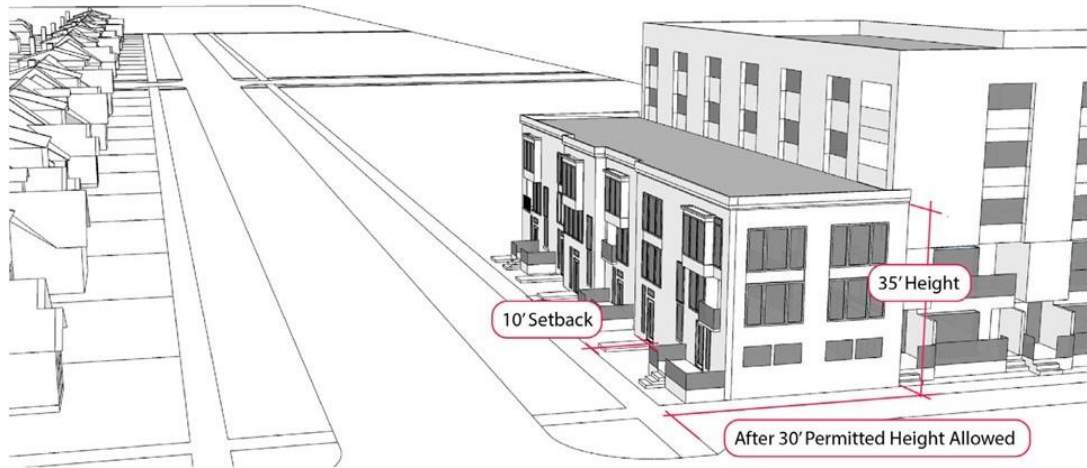


Figure 3.2 (4) Transitions for Single-Family Homes Across a Public

- c) **Uses.** The following explains the line item requirements for each Building Type Table within the third section entitled “Uses” Refer to Section 10-13-2. Uses for uses permitted within each Zoning District. The requirements in this section of the Building Type Tables may limit those uses within a specific Building Type. Table 3.2 (3), illustrates an example of the Uses table from a typical Building Type.
- i) **Ground and Upper Story.** The uses or category of uses which may occupy the ground and/or upper story of a building.
  - ii) **Parking Within Building.** The area(s) of a building in which parking is permitted within the structure.
  - iii) **Required Occupied Space.** The area(s) of a building that shall be designed as occupied space, defined as interior building space regularly occupied by the building users. It does not include storage areas, utility space, or parking.
- d) **Street Facade Requirements.** The following explains the line item requirements for each Building Type Table 3.3 through 3.7, within the fourth section entitled “Street Facade Requirements.” Street Facade Requirements apply only to facades facing a public or private right-of-way. The rear or interior side yard facades are not required to meet these standards unless otherwise stated.
- i) **Minimum Ground Story and Upper Floor Transparency.** (Refer to Figure 3.2 (5), Measuring Transparency per Facade). The minimum amount of transparency required on street facades with street frontage.
    - (1) Transparency is any glass in windows and/or doors, including any mullions that is highly transparent with low reflectance.
    - (2) Ground Story Transparency, when defined separately from the overall minimum transparency, shall be measured between two feet and eight feet from the average grade at the base of the front facade.
    - (3) A general Minimum Transparency requirement shall be measured from floor to floor of each story.
  - ii) **Blank Wall Limitations.** A restriction of the amount of windowless area permitted on a facade with street frontage. If required, the following shall both be met for each story:
    - (1) No rectangular area greater than 30% of a story’s facade, as measured from floor to floor, may be windowless; and
    - (2) No horizontal segment of a story’s facade greater than 15 feet in width may be windowless.
  - iii) **Entrance Type.** The Entrance Type(s) permitted for the entrance(s) of a given Building Type. A mix of permitted Entrance Types may be utilized. Refer to 10-13-3 i Entrance Types for definition of and additional requirements for each Entrance Type.
  - iv) **Principal Entrance Location.** The facade on which the primary building entrance is to be located.
  - v) **Required Number of Street Entrances.** The minimum number of and maximum spacing

- between entrances on the ground floor building facade with street frontage.
- vi) Vertical Facade Divisions. The use of a vertically oriented expression line or form to divide the facade into increments no greater than the dimension shown, as measured along the base of the facade. Elements may include a column, pilaster, or other continuous vertical ornamentation a minimum of one and a half inch depth.
- vii) Horizontal Facade Divisions. The use of a horizontally oriented expression line or form to divide portions of the facade into horizontal divisions. Elements may include a cornice, belt course, molding, string courses, or other continuous horizontal ornamentation a minimum of one and a half inch depth
- e) Roof Type. The following explains the line item requirements for each Building Type Table in Sections 10-13-2 3) through 10-13-2 7), within the fifth section entitled “Roof Types”.
  - i) Permitted Roof Type. The roof type(s) permitted for a given Building Type. Refer to 10-13-2 9. Roof Types for more specific requirements.
  - ii) Tower. A vertical building extension that may be permitted in conjunction with another roof type on certain Building Types. Refer to 10-13-2 9 Roof Types.

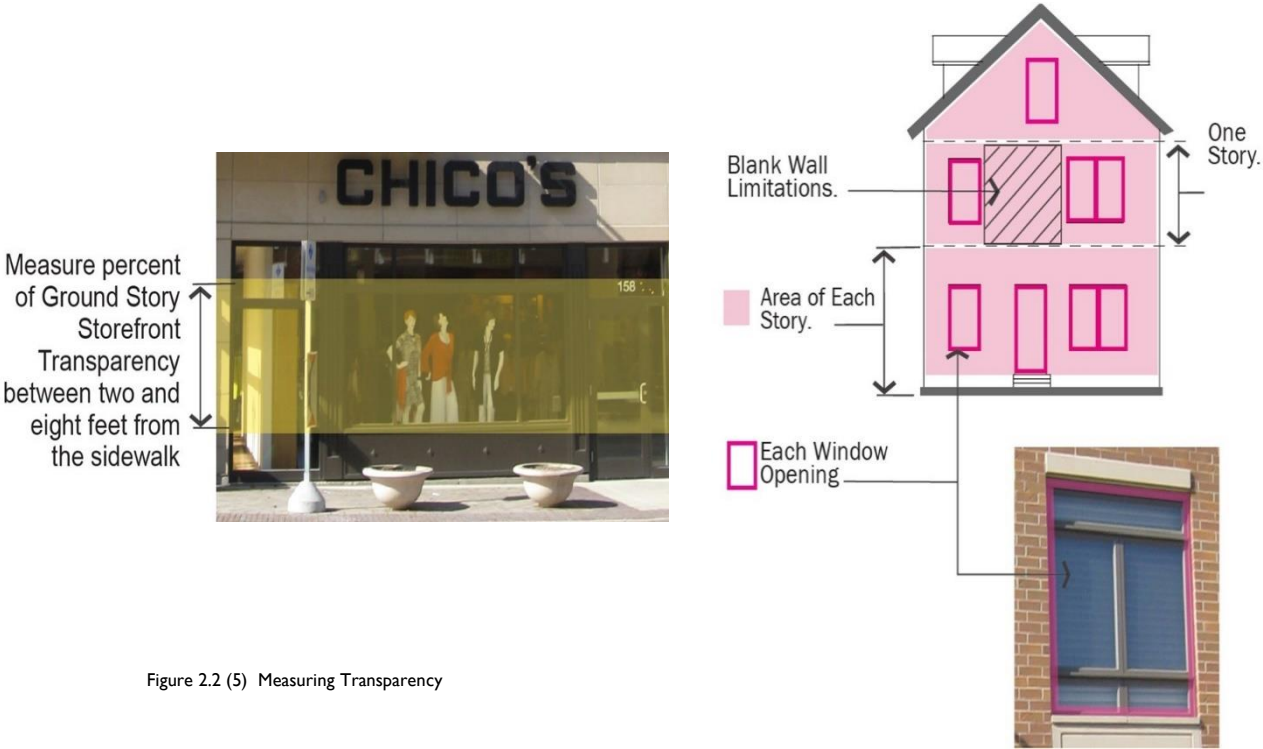


Figure 2.2 (5) Measuring Transparency

3) Storefront Building.

- a) Description & Intent. The Storefront Building is intended for use as a mixed use building located close to the front property line with parking typically in the rear or side of the lot.

The key facade element of this Building Type is the storefront required on the ground floor front facade, with large amounts of glass and regularly spaced entrances.

This building type is adaptable to be used in a variety of intensities and heights, depending on the district within which it is located.

- b) Regulations. Regulations for the Storefront Building Type are defined in the adjacent table.

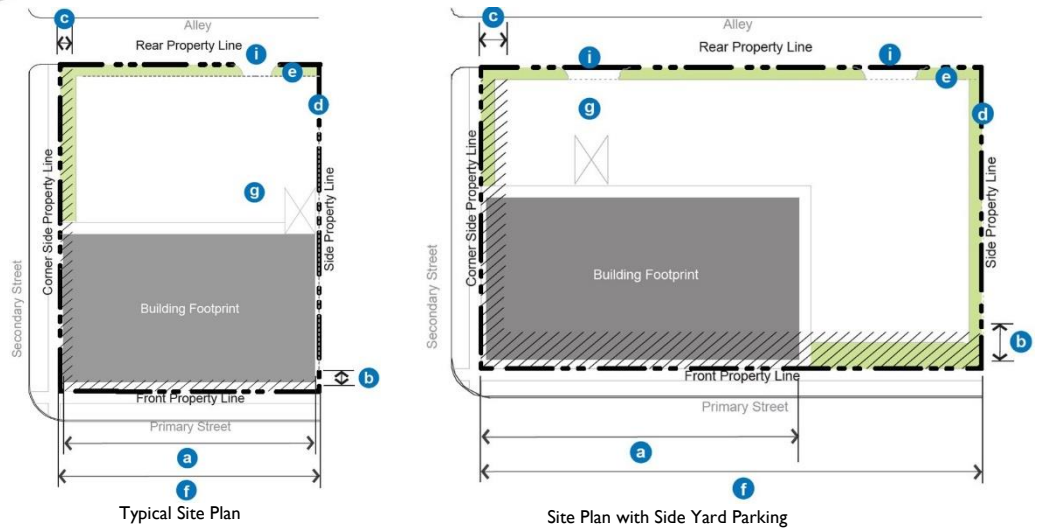
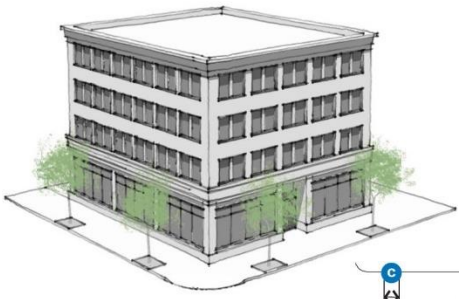


Figure 3.3 (1) Building Siting

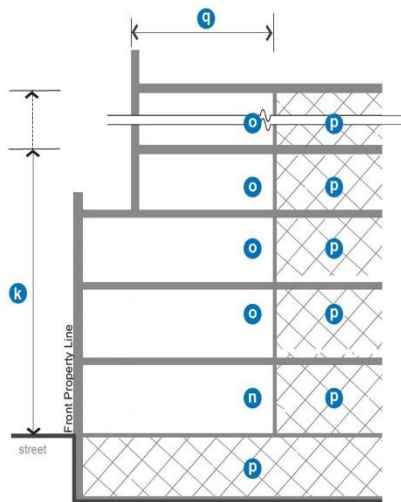


Figure 3.3 (2) Height & Use Requirement

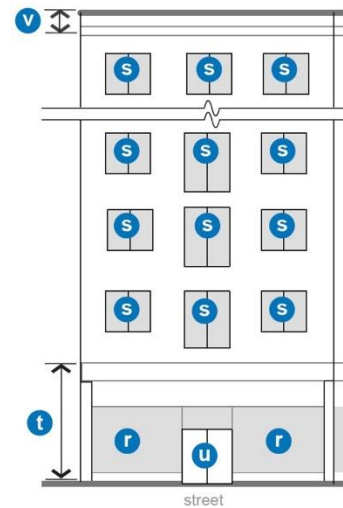


Figure 3.3 (3) Street Façade Requirements

STORE FRONT	Permitted Districts		
	DT-E	DT-W	DT-G
(1) Building Siting Refer to Figure 3.3 (1)			
Multiple Principal Buildings	permitted	permitted	permitted
<b>a</b> Front Property Line Coverage	80% <sup>1</sup>	80% <sup>1</sup>	80% <sup>1</sup>
Occupation of Corner	required	required	required
<b>b</b> Front Build-to Zone	0' to <del>10</del> 15' <sup>2</sup>	0' to <del>10</del> 15' <sup>2</sup>	0' to <del>10</del> 15' <sup>2</sup>
<b>c</b> Corner Build-to Zone	0' to <del>10</del> 15' <sup>2</sup>	0' to <del>10</del> 15' <sup>2</sup>	0' to <del>10</del> 15' <sup>2</sup>
<b>d</b> Minimum Side Yard Setback	0' <sup>3</sup>	0' <sup>3</sup>	0' <sup>3</sup>
<b>e</b> Minimum Rear Yard Setback	0' <sup>3</sup>	0' <sup>3</sup>	0' <sup>3</sup>
<b>f</b> Minimum Lot Width	none	none	none
<b>f</b> Maximum Lot Width	none	none	none
<b>g</b> Parking & Loading Location	rear & side yard <sup>1</sup>	rear & side yard <sup>1</sup>	rear & side yard <sup>1</sup>
(2) Height Refer to Figure 3.3 (2)			
<b>i</b> Minimum Overall Height	1 story	1 story	1 story
<b>k</b> Maximum Overall Height	<del>80</del> 60' <sup>4</sup>	60'	40'
(3) Uses Refer to Figure 3.3 (2). Refer to 10-13-1 Uses for permitted uses.			
<b>n</b> Ground Story	retail, service, office	retail, service, office	retail, service, office
<b>o</b> Upper Story	any permitted use	any permitted use	any permitted use
<b>p</b> Parking within Building	permitted fully in any basement and in rear of upper floors		
<b>q</b> Required Occupied Space	30' deep on all full floors from the front facade		
(4) Street Façade Requirements Refer to Figure 3.3 (3)			
<b>r</b> Minimum Ground Story Transparency Measured between 2' & 8' above grade	60% front only	60% front only	60% front only
<b>s</b> Minimum Transparency per each Story	15%	15%	15%
Blank Wall Limitations	required per floor (refer to 10-13-3 2 d ii)		
<b>t</b> Front Façade Entrance Type	storefront, arcade	storefront, arcade	storefront, arcade
<b>u</b> Principal Entrance Location	front or corner facade	front or corner facade	front or corner facade
Required Number of Street Entrances	1 per each 100' of front facade	1 per each 100' of front facade	1 per each 100' of front facade
Vertical Façade Divisions	every 40' of façade width	every 40' of façade width	every 40' of façade width
Horizontal Façade Divisions	required within 3' of the top of the ground story, and every third story above the ground floor		
(5) Roof Type Requirements Refer to Figure 3.3 (3)			
<b>v</b> Permitted Roof Types	parapet, pitched, flat	parapet, pitched, flat	parapet, pitched, flat
Tower	permitted	permitted	permitted

**Notes** \_\_\_\_\_.

1 – Lots wider than 140' are permitted one double-loaded aisle of parking (maximum width of 72'), located perpendicular to the front property line, which is exempt from front property line coverage.

2 – Building along Riverdale Road, 1900 West and 5600 South are exempt from Front Build-to Zone requirements, and shall follow setback requirements:

- a. A 15 foot setback is required on all new development along these streets
- b. All setbacks areas must contain either landscape, trees, patio space, or sidewalk space
- c. Trees, landscaping and other improvements should be used to mitigate the negative impacts from the heavy fast moving traffic

3 – As required for Site Plan approval, also reference 10-13-3 2 b iv

**4 – Building heights on Riverdale Road, 1900 West and 5600 South shall not exceed 60 feet high in the area beginning at the back of the curb and extending 100 feet therefrom. In areas beyond 100 feet building height may be increased up to 80 feet.**

4) General Stoop Building.

- a) Description & Intent. The General Stoop Building Type is limited in terms of uses by the district within which it is located, generally housing office and/or residential uses. The General Stoop building is intended to be built close to the front and passing pedestrians and transit riders. Parking may be provided in the rear of the lot, internally in the building, or, in some cases, one double loaded aisle of parking is permitted in the interior or the side yard at the front property line.

This building is available in a variety of intensities and heights, depending on the district within which it is located.

- b) Regulations. Regulations for the General Stoop Building Type are defined in the adjacent table.

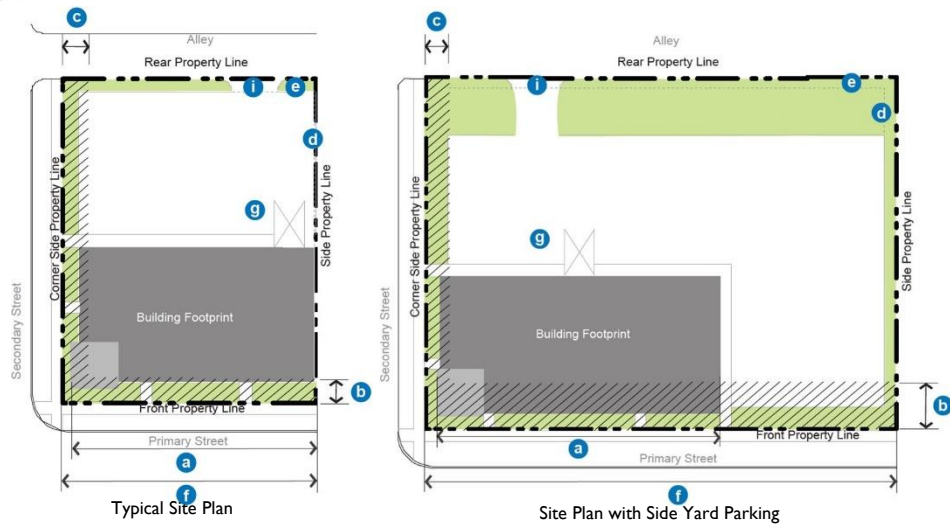
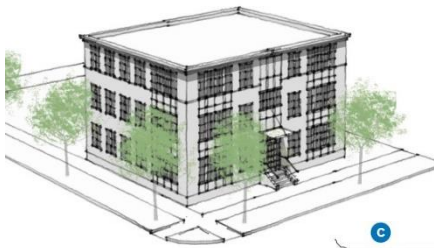


Figure 3.4 (1) Building Siting

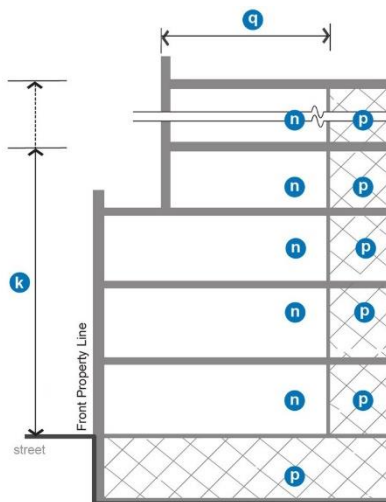


Figure 3.4 (2) Building Height & Use Requirement

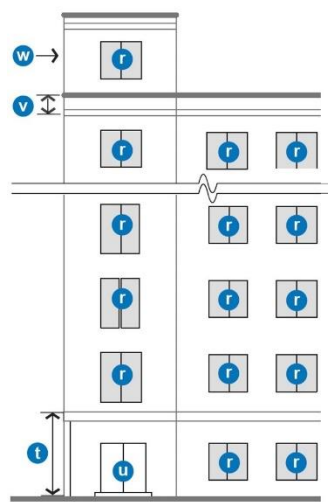


Figure 3.4 (3) Street Façade Requirements

GENERAL STOOP	Permitted Districts		
	DT-E	DT-W	DT-G
(1) Building Siting Refer to Figure 3.4 (1)			
Multiple Principal Buildings	permitted	permitted	permitted
a Front Property Line Coverage	80% <sup>1 &amp; 2</sup>	80% <sup>1 &amp; 2</sup>	70% <sup>1 &amp; 2</sup>
Occupation of Corner	required	required	required
b Front Build-to Zone	0' to <del>10</del> 15' <sup>3</sup>	0' to <del>10</del> 15' <sup>3</sup>	0' to <del>10</del> 15' <sup>3</sup>
c Corner Build-to Zone	0' to <del>10</del> 15' <sup>3</sup>	0' to <del>10</del> 15' <sup>3</sup>	0' to <del>10</del> 15' <sup>3</sup>
d Minimum Side Yard Setback	0' <sup>4</sup>	0' <sup>4</sup>	0' <sup>4</sup>
e Minimum Rear Yard Setback	0' <sup>4</sup>	0' <sup>4</sup>	0' <sup>4</sup>
f Minimum Lot Width	none	none	none
f Maximum Lot Width	none	none	none
g Parking & Loading Location	rear & side yard <sup>2</sup>	rear & side yard <sup>2</sup>	rear & side yard <sup>2</sup>
(2) Height Refer to Figure 3.4 (2)			
i Minimum Overall Height	1 story	1 story	1 story
k Maximum Overall Height	<del>80</del> 60' <sup>5</sup>	60'	40'
(3) Uses Refer to Figure 3.4 (2). Refer to 10-13-1 Uses for permitted uses.			
Ground Story	Retail, service, office		
n All Upper Stories	any permitted use		
p Parking within Building	permitted fully in any basement and in rear of upper floors		
q Required Occupied Space	30' deep on all full floors from the front facade		
(4) Street Façade Requirements Refer to Figure 9.4 (3)			
r Minimum Transparency per each Story	15%	15%	15%
Blank Wall Limitations	required per floor (refer to 10-13-3 2 d ii)		
t Front Façade Entrance Type	stoop, porch, storefront	stoop, porch, storefront	stoop, porch, storefront
Principal Entrance Location	front or corner facade	front or corner facade	front or corner facade
u Required Number of Street Entrances	1 per each 100' of front facade	1 per each 100' of front facade	1 per each 100' of front facade
Vertical Façade Divisions	every 40' of façade width	every 40' of façade width	every 50' of façade width
Horizontal Façade Divisions	required within 3' of the top of the visible basement and of the ground story, and every third story above the ground floor		
(5) Roof Type Requirements Refer to Figure 2.4 (3)			
v Permitted Roof Types	parapet, pitched, flat	parapet, pitched, flat	parapet, pitched, flat
w Tower	permitted	permitted	permitted

Notes \_\_\_\_\_.

- 1 – A courtyard covering up to 35% of the front façade is permitted and may contribute to the Front Lot Line Coverage requirements.
- 2 – Lots wider than 140' are permitted one double-loaded aisle of parking (maximum width of 72'), located perpendicular to the front property line, which is exempt from front property line coverage.
- 3 – Building along Riverdale Road, 1900 West and 5600 South are exempt from Front Build-to Zone requirements, and shall follow setback requirements:
  - a. A ~~10~~15 foot setback is required on all new development along these streets
  - b. All setbacks areas must contain either landscape, trees, patio space, or sidewalk space
  - c. Trees, landscaping and other improvements should be used to mitigate the negative impacts from the heavy fast moving traffic
- 4 – As required for Site Plan approval, also reference 10-13-3 2 b iv
- 5 – **Building heights on Riverdale Road, 1900 West and 5600 South shall not exceed 60 feet high in the area beginning at the back of the curb and extending 100 feet therefrom. In areas beyond 100 feet building height may be increased up to 80 feet.**

5) Limited Bay Building.

- a) Description & Intent. The Limited Bay Building Type permits a lower level of ground floor storefront facade and a single vehicle bay with garage door access on the Primary Street. A wider range of uses can also be accommodated within this Building Type, including craftsman industrial uses. This Building Type is still intended to be built close to the front and corner property lines allowing easy access to passing pedestrians and transit riders, and continuing the fabric of the Storefront Building Type. Parking may be provided in the rear of the lot, internally in the building, or one double loaded aisle of parking is permitted in the interior or the side yard at the front property line.
- b) Regulations. Regulations for the Limited Bay Building Type are defined in the adjacent table.

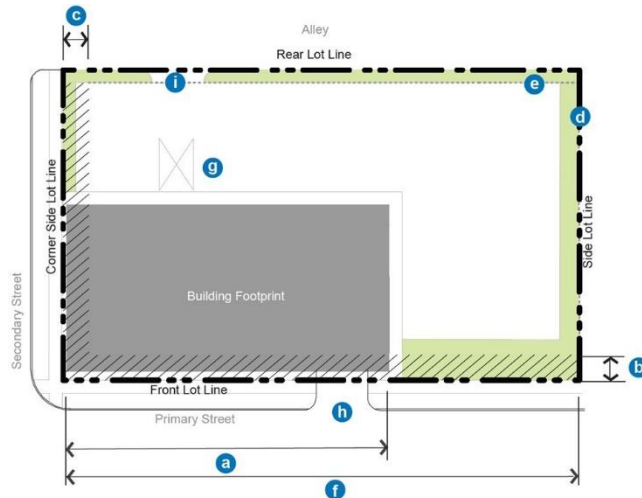


Figure 3.5 (1) Building Siting

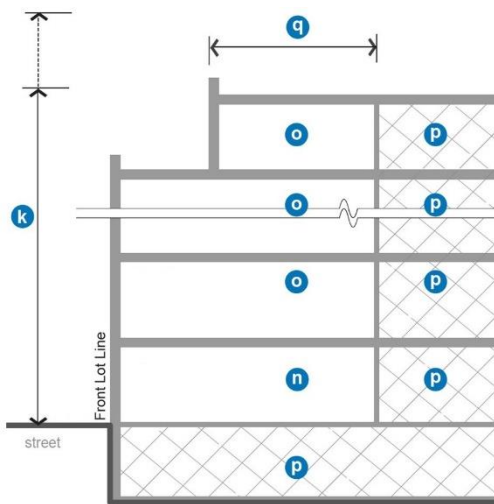


Figure 3.5 (2) Building Height & Use Requirement

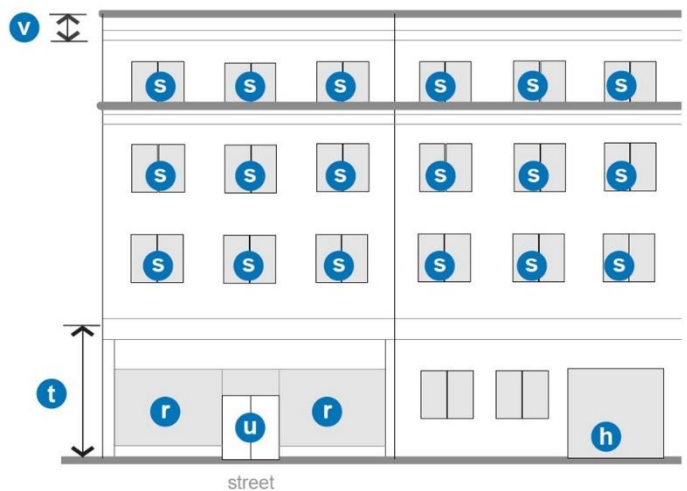


Figure 3.5 (3) Street Façade Requirements

LIMITED BAY		Permitted Districts
		DT-G
(1) Building Siting Refer to Figure 3.5 (1)		
Multiple Principal Buildings		permitted
a Front Property Line Coverage		70% <sup>1 &amp; 2</sup>
Occupation of Corner		required
b Front Build-to Zone		0' to <del>10</del> 15'
c Corner Build-to Zone		0' to <del>10</del> 15'
d Minimum Side Yard Setback		5'
e Minimum Rear Yard Setback		5'
f Minimum Lot Width		50'
f Maximum Lot Width		none
g Parking & Loading Location		rear & side yard
Street Façade Service Bay Entrance		limited to one per street façade, maximum with 18'
(2) Height Refer to Figure 3.4 (2)		
i Minimum Overall Height		1 story
k Maximum Overall Height		40'
(3) Uses Refer to Figure 3.5 (2). Refer to 10-13-1 Uses for permitted uses.		
n Ground Story		retail, service, office, craftsman industrial
o Upper Story		any permitted use
p Parking within Building		permitted fully in basement and in rear of upper floors plus one service bay width at ground floor
q Required Occupied Space		30' deep on all full floors from the front facade
(4) Street Façade Requirements Refer to Figure 3.5 (3)		
r Minimum Ground Story Transparency Measured between 2' and 8' above grade		40%, Minimum 50% of Service Bay door shall be transparent
s Minimum Transparency per each Story		15%
Blank Wall Limitations		required per floor (refer to 10-13-3 2 b ii)
t Front Façade Entrance Type		stoop, storefront
u Principal Entrance Location		front or corner facade
Required Number of Street Entrances		1 per each 100' of façade; service bay door not included; 1 per 150' of facade
Vertical Façade Divisions		every 30' of façade width
Horizontal Façade Divisions		required within 3' of the top of the ground story for all buildings over 2 stories
(5) Roof Type Requirements Refer to Figure 3.5 (3)		
v Permitted Roof Types		parapet, pitched, flat
w Tower		permitted

Notes \_\_\_\_\_.

- 1 – Lots wider than 140' are permitted one double-loaded aisle of parking (maximum width of 72'), located perpendicular to the front property line, which is exempt from front property line coverage.
- 2 – Building along Riverdale Road, 1900 West and 5600 South are exempt from Front Build-to Zone requirements, and shall follow setback requirements:
  - a. A ~~10~~15 foot setback is required on all new development along these streets.
  - b. All setbacks areas must contain either landscape, trees, patio space, or sidewalk space
  - c. Trees, landscaping and other improvements should be used to mitigate the negative impacts from the heavy fast moving traffic
- 3 – As required for Site Plan approval, also reference 10-13-3 2 b iv

6) Large Format Building

- a) Description & Intent. The Large Format Building Type permits a large building footprint with a ground floor storefront facade. The minimum sized building footprint of the Large Format Building Type is 35,000 total square feet. If a building is to have a smaller footprint than the minimum 35,000 sf requirement then it will not be considered or approved as a Large Format Building.

This building type is usually provided only single certificate of occupancy, and is commonly referred to as a “big-box” or “mid-box” structure.

This Building Type is still intended to be built close to the front and corner property lines allowing easy access to passing pedestrians and transit riders, and continuing the fabric of the Storefront Building Type. Parking may be provided in the rear of the lot, internally in the building, or one double loaded aisle of parking is permitted in the interior or the side yard at the front property line.

- b) Regulations. Regulations for the Large Format Building Type are defined in the adjacent table.

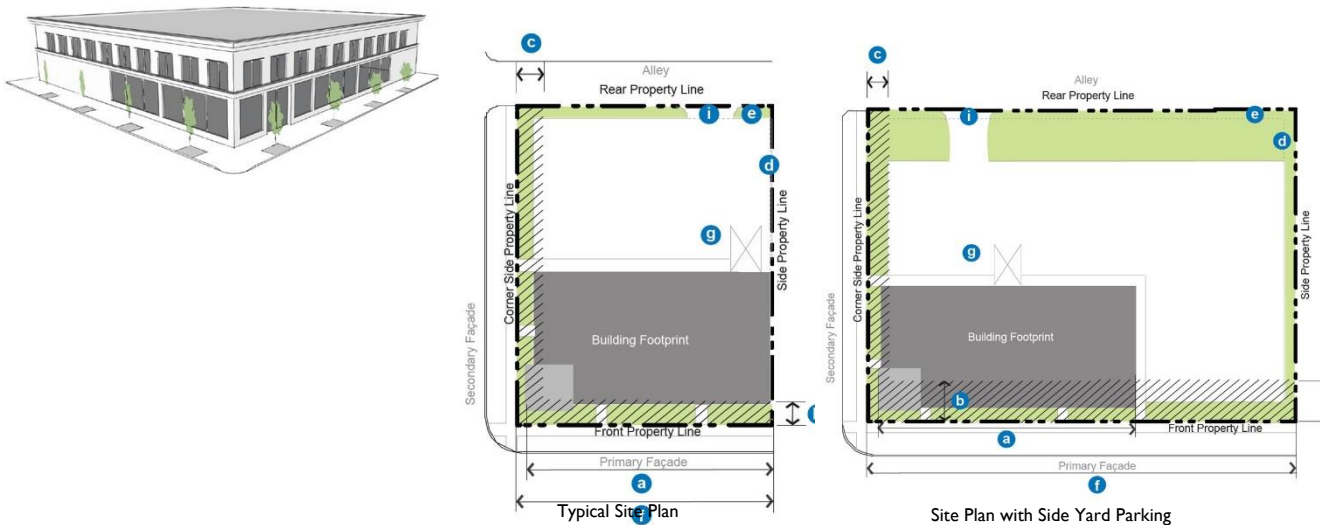


Figure 3.6 (1) Building Siting

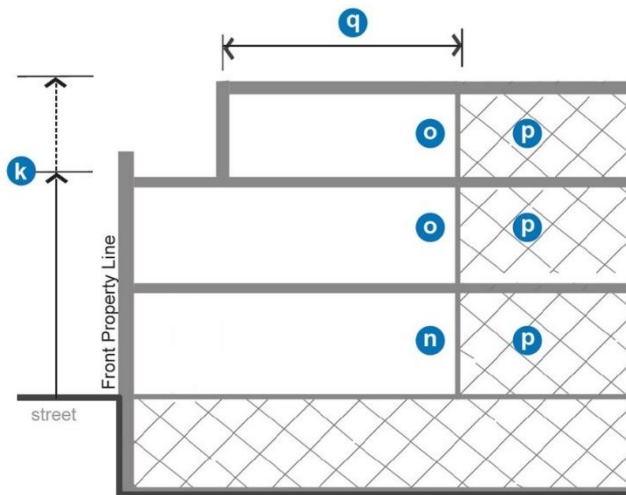


Figure 3.6 (2) Building Height & Use Requirement

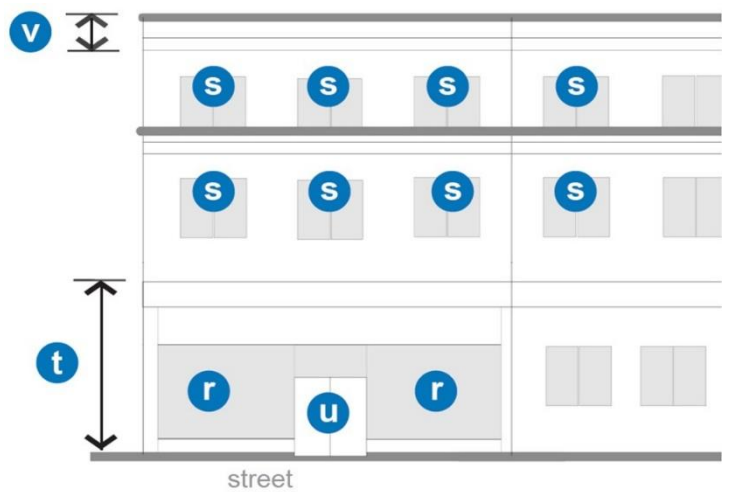


Figure 3.6 (3) Street Façade Requirements

LARGE FORMAT	Permitted Districts		
	DT-E	DT-W	DT-G
<b>(1) Building Siting</b> Refer to Figure 3.6 (1)			
Multiple Principal Buildings	not permitted	not permitted	not permitted
<b>a</b> Front Property Line Coverage	80% <sup>1</sup>	80% <sup>1</sup>	70% <sup>1</sup>
<b>b</b> Occupation of Corner	required	required	required
<b>c</b> Front Build-to Zone	0' to <del>10</del> 15' <sup>2</sup>	0' to <del>10</del> 15' <sup>2</sup>	0' to <del>10</del> 15' <sup>2</sup>
<b>d</b> Corner Build-to Zone	0' to <del>10</del> 15' <sup>2</sup>	0' to <del>10</del> 15' <sup>2</sup>	0' to <del>10</del> 15' <sup>2</sup>
<b>e</b> Minimum Side Yard Setback	0' <sup>3</sup>	0' <sup>3</sup>	0' <sup>3</sup>
<b>f</b> Minimum Rear Yard Setback	0' <sup>3</sup>	0' <sup>3</sup>	0' <sup>3</sup>
Minimum Lot Width	150'	150'	150'
Maximum Lot Width	400'	400'	400'
<b>g</b> Parking & Loading Location	rear & side yard	rear & side yard	rear & side yard
<b>(2) Height</b> Refer to Figure 3.6 (2)			
<b>i</b> Minimum Overall Height	1 story	1 story	1 story
<b>k</b> Maximum Overall Height	<del>80</del> 60' <sup>4</sup>	60'	40'
<b>(3) Uses</b> Refer to Figure 3.6 (2). Refer to 10-13-1 Uses for permitted uses.			
<b>n</b> Ground Stories	retail, service, office		
<b>o</b> Upper Story	any permitted use		
<b>p</b> Parking within Building	permitted fully in any basement and in rear of upper floors. Permitted on upper floors		
<b>q</b> Required Occupied Space	50' deep on all full floors from the front facade		
<b>(4) Street Façade Requirements</b> Refer to Figure 3.6 (3)			
<b>r</b> Minimum Ground Story Transparency measured between 2' and 8' above ground	50% front and corner side facades only		
<b>s</b> Minimum Transparency per each Story	15%	15%	15%
Blank Wall Limitations	required per floor (refer to 5.2.4 (2))		
<b>t</b> Front Façade Entrance Type	storefront	storefront	storefront
<b>u</b> Principal Entrance Location	front or corner facade	front or corner facade	front or corner facade
Required Number of Street Entrances	1 per each 150' of front facade	1 per each 150' of front facade	1 per each 150' of front facade
Vertical Façade Divisions	every 40' of façade width	every 40' of façade width	every 40' of façade width
Horizontal Façade Divisions	required within 3' of the top of the ground story, and every third story above the ground floor		
<b>(5) Roof Type Requirements</b> Refer to Figure 3.6 (3)			
<b>v</b> Permitted Roof Types	parapet, flat	parapet, flat	parapet, flat
Tower	permitted	permitted	permitted

**Notes**

- 1 – One double-loaded aisle of parking (maximum width of 72'), located perpendicular to the front property line, which is exempt from front property line coverage
- 2 – Building along Riverdale Road, 1900 West and 5600 South are exempt from Front Build-to Zone requirements, and shall follow setback requirements:
  - a. A ~~10~~15 foot setback is required on all new development along these streets
  - b. All setbacks areas must contain either landscape, trees, patio space, or sidewalk space
  - c. Trees, landscaping and other improvements should be used to mitigate the negative impacts from the heavy fast moving traffic
- 3 – As required for Site Plan approval, also reference 10-13-3 2 b iv
- 4 – **Building heights on Riverdale Road, 1900 West and 5600 South shall not exceed 60 feet high in the area beginning at the back of the curb and extending 100 feet therefrom. In areas beyond 100 feet building height may be increased up to 80 feet.**

7) Civic Building.

- a) Description & Intent. The Civic Building is the most flexible Building Type intended only for civic and institutional types of uses. These buildings are distinctive within the urban fabric created by the other Building Types and could be designed as iconic structures. In contrast to most of the other Building Types, a minimum setback line is required instead of a build to zone, though this setback is required to be landscaped. Parking is limited to the rear in most cases.

The minimum and maximum heights of this Building Type depend on the district within which it is located.

- b) Regulations. Regulations for the Civic Building type are defined in the adjacent table.

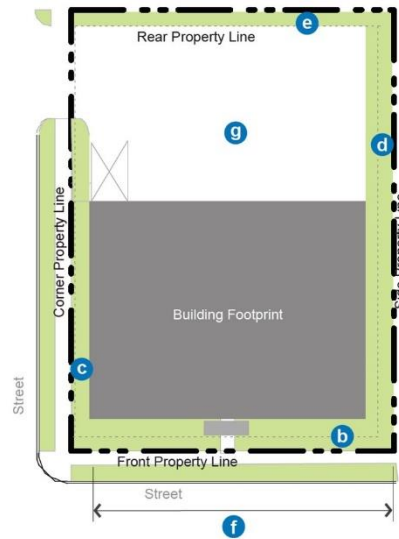


Figure 3.7 (1) Building Siting

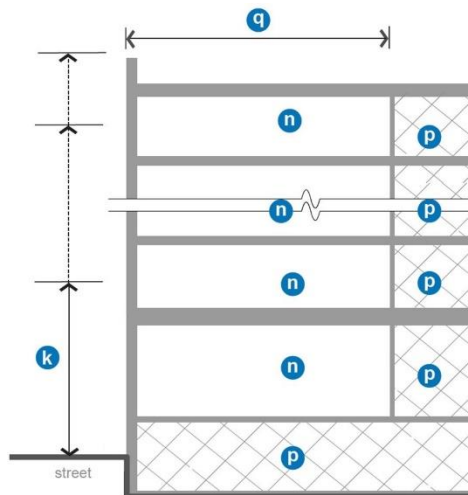


Figure 3.7 (2) Building Height & Use Requirement

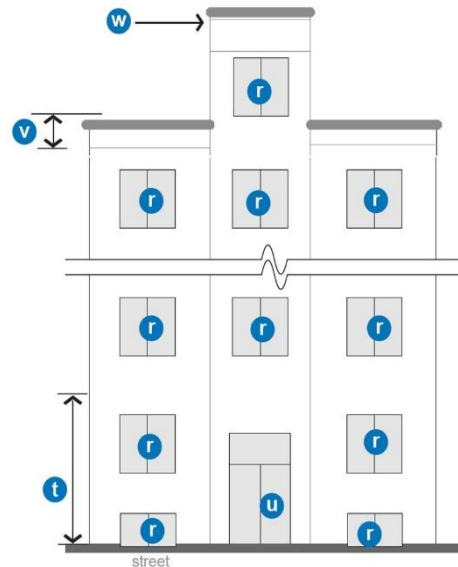


Figure 3.7 (3) Street Façade Requirements

CIVIC	Permitted Districts		
	DT-E	DT-W	DT-G
<b>(1) Building Siting</b> Refer to Figure 3.7 (1)			
Multiple Principal Buildings	permitted	permitted	permitted
Front Property Line Coverage	not required	not required	not required
Occupation of Corner	not required	not required	not required
<b>b</b> Front Setback	+015' <sup>1</sup>	+015' <sup>1</sup>	+015' <sup>1</sup>
<b>c</b> Corner Setback	+015' <sup>1</sup>	+015' <sup>1</sup>	+015' <sup>1</sup>
<b>d</b> Minimum Side Yard Setback	5' <sup>2</sup>	5' <sup>2</sup>	5' <sup>2</sup>
<b>e</b> Minimum Rear Yard Setback	5' <sup>2</sup>	5' <sup>2</sup>	5' <sup>2</sup>
<b>f</b> Minimum Lot Width	50'	50'	50'
Maximum Lot Width	none	none	none
<b>g</b> Parking & Loading Location	rear	rear	rear & interior side yard <sup>3</sup>
<b>(2) Height</b> Refer to Figure 3.4 (2)			
<b>i</b> Minimum Overall Height	1 story	1 story	1 story
<b>k</b> Maximum Overall Height	8060' <sup>4</sup>	60'	40'
<b>(3) Uses</b> Refer to Figure 3.7 (2). Refer to 10-13-1 Uses for permitted uses.			
<b>n</b> All Stories	limited to civic & institutional uses only		
<b>p</b> Parking within Building	permitted fully in basement and in rear of upper floors.		
<b>q</b> Required Occupied Space	30' deep on all full floors from the front facade		
<b>(4) Street Façade Requirements</b> Refer to Figure 3.7 (3)			
<b>r</b> Minimum Transparency per each Story	10%	10%	10%
Blank Wall Limitations	not required		
<b>t</b> Front Façade Permitted Entrance Type	arcade, porch, stoop		
<b>u</b> Principal Entrance Location per Unit	front or corner facade	front or corner facade	front or corner facade
Required Number of Primary Street Entrances	1 per 100' of facade	1 per 100' of facade	1 per 150' of facade
Vertical Façade Divisions	not required		
Horizontal Façade Divisions	not required		
<b>(5) Roof Type Requirements</b> Refer to Figure 3.7 (3)			
<b>v</b> Permitted Roof Types	parapet, pitched, flat; other roof types are permitted by Conditional Use		
<b>w</b> Tower	permitted	permitted	permitted

**Notes**

- 1 – Building along Riverdale Road, 1900 West and 5600 South are exempt from Front Build-to Zone requirements, and shall follow setback requirements:
  - a. A +015 foot setback is required on all new development along these streets
  - b. All setbacks areas must contain either landscape, trees, patio space, or sidewalk space
  - c. Trees, landscaping and other improvements should be used to mitigate the negative impacts from the heavy fast moving traffic
- 2 – As required for Site Plan approval, also reference 10-13-3 2 b iv
- 3 – Lots wider than 140' are permitted one double-loaded aisle of parking (maximum width of 72'), located perpendicular to the property line, which is exempt from front property line coverage.
- 4 – **Building heights on Riverdale Road, 1900 West and 5600 South shall not exceed 60 feet high in the area beginning at the back of the curb and extending 100 feet therefrom. In areas beyond 100 feet building height may be increased up to 80 feet.**

- 8) Entrance Types. Entrance type standards apply to the ground story and visible basement of front facades of all Building Types as defined in this Section. Refer to the Building Type Table Requirements, Sections 10-13-3 3) through 10-13-3 7).
  - a) General. The following provisions apply to all entrance types.
    - i) Intent. To guide the design of the ground story of all buildings to relate appropriately to pedestrians on the street. Treatment of other portions of the building facades is detailed in each Building Type standard (refer to Building Types 10-13-3 3) through 10-13-3 7)).
    - ii) Applicability. The entire ground story street-facing facade(s) of all buildings shall meet the requirements of at least one of the permitted entrance types, unless otherwise stated.
    - iii) Measuring Transparency. Refer to 10-13-3 2 Explanation of Building Type Table Standards, for information on measuring building transparency.
    - iv) Visible Basements. Visible basements, permitted by entrance type, are optional. The visible basement shall be a maximum of one-half the height of the tallest story.
  - b) Storefront Entrance Type. The Storefront entrance type is a highly transparent ground story treatment designed to serve primarily as the display area and primary entrance for retail or service uses (Refer to Figure 3.8 (1)).
    - i) Transparency. Minimum transparency is required per Building Type.
    - ii) Elevation. Storefront elevation shall be between zero and one foot above sidewalk.
    - iii) Visible Basement. A visible basement is not permitted.
    - iv) Horizontal Facade Division. Horizontally define the ground story facade from the upper stories.
    - v) Entrance. All entries shall be recessed from the front facade closest to the street.
      - (1) Recess shall be a minimum of three feet and a maximum of eight feet deep, measured from the portion of the front facade closest to the street.
      - (2) When the recess falls behind the front build-to zone, the recess shall be no wider than eight feet.

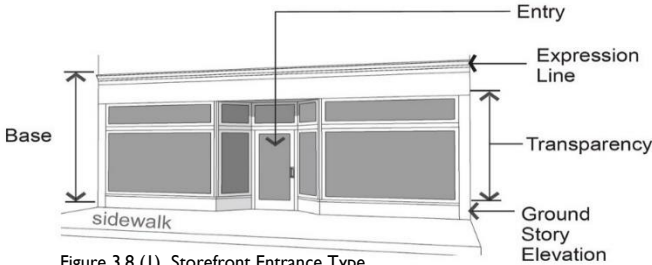


Figure 3.8 (1) Storefront Entrance Type

- c) Standard Entrance Type. The standard entrance type uses architectural elements to create a highly visible building entrance that is well integrated into the building’s overall design (Refer to Figure 3.8 (2)).
  - i) Transparency. Minimum transparency is required per Building Type.
  - ii) Elevation. Entrance elevation shall be between zero and one foot above sidewalk.

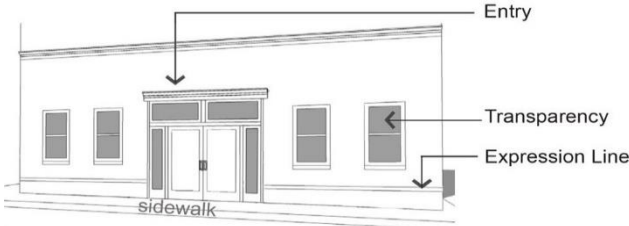


Figure 3.8 (2) Standard Entrance Type

- d) Arcade Entrance Type. An Arcade entrance type is a covered pedestrian walkway within the recess of a ground story (Refer to Figure 3.8 (3)).
  - i) Arcade. An open-air public walkway is required from the face of the building recessed into the building a minimum of eight and a maximum of 15 feet.

- ii) Build-to Zone. When the Arcade is utilized, the outside face of the Arcade shall be considered the front facade, located within the required build-to zone.
- iii) Recessed or Interior Facade. Storefront entrance type is required on the recessed ground story facade.
- iv) Column Spacing. Columns shall be spaced between ten feet and 12 feet on center.
- v) Column Width. Columns shall be a minimum of 1'-8" and a maximum 2'-4" in width.
- vi) Arcade Opening. Opening shall not be flush with interior arcade ceiling and may be arched or straight.
- vii) Horizontal Facade Division. Horizontally define the ground story facade from the upper stories.
- viii) Visible Basement. A visible basement is not permitted.

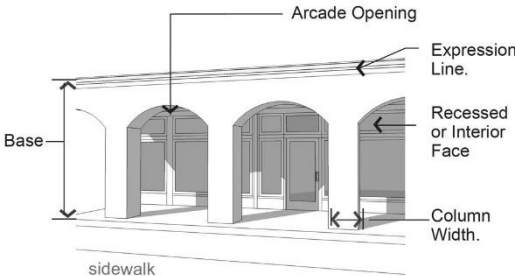


Figure 3.8 (3) Arcade Entrance Type

- e) Stoop Entrance Type. A stoop is an unroofed, open platform (Refer to Figure 3.8 (4)).
  - i) Transparency. Minimum transparency is required per Building Type.
  - ii) Stoop Size. Stoops shall be a minimum of three feet deep and six feet wide.
  - iii) Elevation. Stoop elevation shall be located a maximum of 2'-6" above the sidewalk without visible basement and a maximum of 4'-6" above the sidewalk with a visible basement.
  - iv) Visible Basement. A visible basement is permitted and shall be separated from the ground story by an expression line.
  - v) Entrance. All entries shall be located off a stoop.

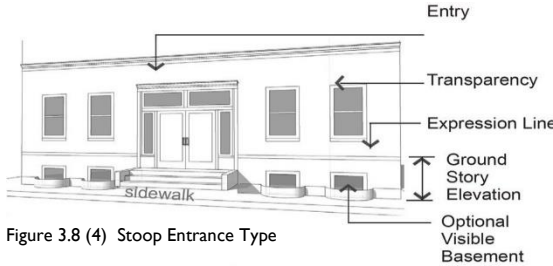


Figure 3.8 (4) Stoop Entrance Type

- f) Porch Entrance Type. A porch is a raised, roofed platform that may or may not be enclosed on all sides (Refer to Figure 3.8 (5)).
  - i) Transparency.
    - (1) Minimum transparency per Building Type is required.
    - (2) If enclosed, a minimum of 40% of the enclosed porch shall be comprised of highly transparent, low reflectance windows.
  - ii) Porch Size. The porch shall be a minimum of five feet deep and eight feet wide.
  - iii) Elevation. Porch elevation shall be located a maximum of 2'-6" above the sidewalk without a visible basement and a maximum of 4'-6" above the sidewalk with a visible basement.
  - iv) Visible Basement. A visible basement is permitted.
  - v) Height. Porch may be two stories to provide a balcony on the second floor
  - vi) Entrance. All entries shall be located off a porch.

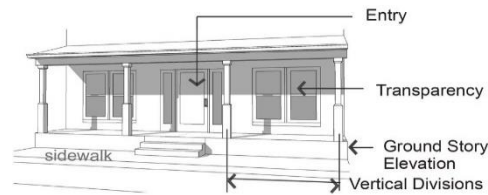


Figure 3.8 (5) Porch Entrance Type

- 9) **Roof Types.** Roof type standards apply to the roof and cap of all Building Types as defined in this Section. Refer to the Building Type Table Requirements, Sections 10-13-3 3) through 10-13-3 7).
- a) **General Provisions.** The following provisions apply to all roof types.
    - i) **Intent.** To guide the design of the cap of all buildings.
    - ii) **Applicability.** All buildings shall meet the requirements of one of the roof types permitted for the Building Type.
    - iii) **Measuring Height.** Refer to Section 10-13-3 2 b for information on measuring building height.
    - iv) **Other Roof Types.** Other building caps not listed as a specific type may be made by a request to the Zoning Administrator with the following requirements:
      - (1) The roof type shall not create additional occupiable space beyond that permitted by the Building Type.
      - (2) The shape of the Roof Type shall be significantly different from those defined in this section 10-13-2 9 Roof Types, i.e. a dome, spire, vault.
      - (3) The building shall warrant a separate status within the community from the fabric of surrounding buildings, with a correspondence between the form of the roof type and the meaning of the building use.
  - b) **Parapet Roof Type.** A parapet is a low wall projecting above a building's roof along the perimeter of the building. It can be utilized with a flat or low pitched roof and also serves to limit the view of roof-top mechanical systems from the street (Refer to Figure 3.9 (I), Parapet Roof Type).
    - i) **Parapet Height.** Height is measured from the top of the upper story to the top of the parapet.
      - (1) Minimum height is two feet with a maximum height of six feet.
      - (2) The parapet shall be high enough to screen the roof and any roof appurtenances from view of the street(s).
    - ii) **Horizontal Expression Lines.** An expression line shall define the parapet from the upper stories of the building and shall also define the top of the cap.
    - iii) **Occupied Space.** Occupied space shall not be incorporated behind this roof type.

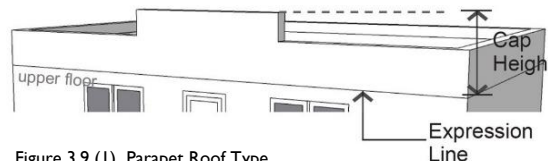


Figure 3.9 (I) Parapet Roof Type

- c) **Pitched Roof Type.** This roof type has a sloped or pitched roof. Slope is measured with the vertical rise divided by the horizontal span or run (Refer to Figure 3.9 (2), Pitched Roof Type).
  - i) **Pitch Measure.** The roof may not be sloped less than a 4:12 (rise:run) or more than 16:12.
    - (1) Slopes less than 4:12 are permitted to occur on second story or higher roofs. (Refer to Figure 3.9 (2) Low Pitched Roof).
  - ii) **Configurations.**
    - (1) Hipped, gabled, and combination of hips and gables with or without dormers are permitted.
    - (2) Butterfly roofs (inverted gable roof) are permitted with a maximum height of eight

feet, inclusive of overhang.

- (3) Gambrel and mansard roofs are not permitted.
- iii) Parallel Ridge Line. A gabled end or perpendicular ridge line shall occur at least every 100 feet of roof when the ridge line runs parallel to the front lot line. (Refer to Figure 2.9 (3). Parallel Ridge Line).
- iv) Roof Height. Roofs without occupied space and/or dormers shall have a maximum height on street-facing facades equal to the maximum height permitted for the Building Type.
- v) Occupied Space. Occupied space may be incorporated behind this roof type.

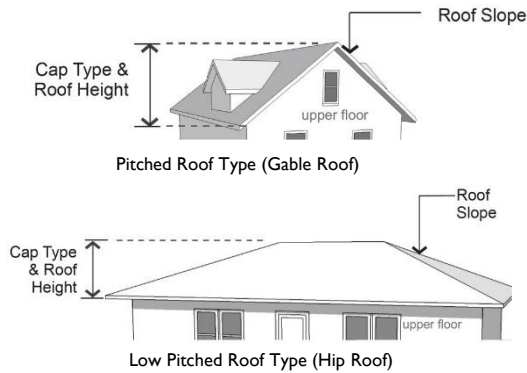


Figure 3.9 (2) Pitched Roof Types

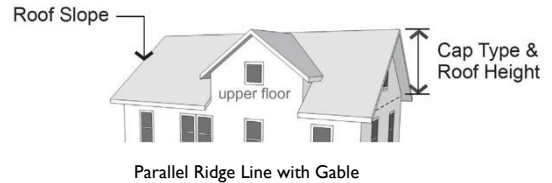


Figure 3.9 (3) Parallel Roof Type

- d) Flat Roof Type. This roof type has a flat roof with overhanging eaves (Refer to Figure 3.9 (4). Flat Roof Type).
  - i) Configuration. Roofs with no visible slope are acceptable. Eaves are required on all street facing facades.
  - ii) Eave Depth. Eave depth is measured from the building facade to the outside edge of the eave. Eaves shall have a depth of at least 14 inches.
  - iii) Eave Thickness. Eave thickness is measured at the outside edge of the eave, from the bottom of the eave to the top of the eave. Eaves shall be a minimum of eight inches thick.
  - iv) Interrupting Vertical Walls. Vertical walls may interrupt the eave and extend above the top of the eave with no discernible cap.
    - (1) No more than one-half of the front facade can consist of an interrupting vertical wall.
    - (2) Vertical walls shall extend no more than four feet above the top of the eave.
  - v) Occupied Space. Occupied space shall not be incorporated behind this roof type.

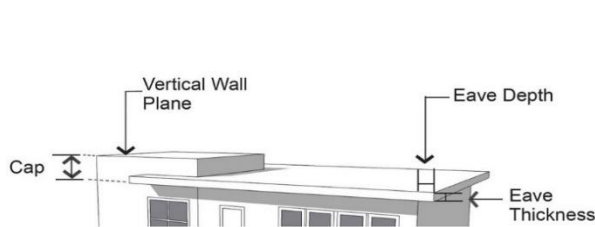


Figure 3.9 (4) Flat Roof Type

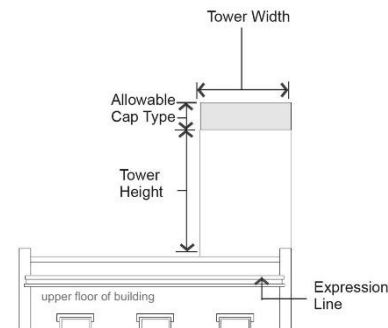


Figure 3.9 (5) Tower

- e) Towers. A tower is a rectilinear or cylindrical, vertical element, that must be used with other roof types (Refer to Figure 3.9 (5). Tower).
  - i) Quantity. All Building Types, with the exception of the Civic Building, are limited to one tower per building.
  - ii) Tower Height. Maximum height, is the same as the maximum allowance within building

- type
  - iii) Tower Width. Maximum width along all facades is one-third the width of the front facade or 30 feet, whichever is less.
  - iv) Horizontal Expression Lines. An expression line shall define the tower from the upper stories, except on single family or attached house residential Building Types.
  - v) Occupied Space. Towers may be occupied by the same uses allowed in upper stories of the Building Type to which it is applied.
  - vi) Application. May be combined with all other roof types.
  - vii) Tower Cap. The tower may be capped by the parapet, pitched, low pitched, or flat roof types, or the spire may cap the tower.
- 10) Aerospace Design Theme Requirements. The following requirements apply to all of the Downtown Districts. The design theme and aesthetic for new buildings in the Downtown Core Districts should build off of the City’s proximity and relationship to Hill Air Force Base and the Ogden-Hinckley Airport, and utilize materials and colors that reflect a modern, aerospace aesthetic. This theme should primarily be expressed through materials used and the articulation of the building mass and roof.
- a) Materials and Color.
    - i) Primary Facade Materials. 80% of each facade shall be constructed of primary materials. For facades over 100 square feet, more than one material shall be used to meet the 80% requirement.
      - (1) The primary materials that will result in the intended visual aesthetic are metal, including architectural metal panels and cladding, glass, brick, and natural stone. These materials should be prominently featured. Other permitted primary building materials include high quality, durable materials, such as stone, brick; fiber cement board, shingled, or panel siding; glass. Other high quality synthetic materials may be approved during the site plan process with an approved sample and examples of successful, high quality local installations. Refer to Figures 3.10 (1) - 3.10 (4).



Figure 3.10 (1) Aerospace Design Theme



Figure 3.10 (2) Aerospace Design Theme



Figure 3.10 (3) Aerospace Design Theme



Figure 3.10 (4) Aerospace Design Theme

- ii) Secondary Facade Materials. Secondary materials are limited to details and accents and include concrete, wood, and EIFS.
    - (1) Exterior Insulation and Finishing Systems (EIFS) is permitted for trim only or on upper floor facades only.
  - iii) Roofs. Roofs should be flat, or sloped, as demonstrated in Figures 3.10 (1) - 3.10 (4). If appropriate to the building type, architects should utilize roof features and projections to evoke the aerospace theme.
  - iv) Appropriate Grade of Materials. Commercial quality doors, windows, and hardware shall be used on all Building Types with these districts
- a) Windows, Awnings, and Shutters.
- i) Windows. Percent of transparency is required per Building Type.
  - ii) Awnings. All awnings shall be canvas or metal. Plastic awnings are not permitted. Awning types and colors for each building face shall be coordinated. Refer to Figure 3.10 (5).
  - iii) Shutters. If installed, shutters, whether functional or not, shall be sized for the windows. If closed, the shutters shall not be too small for complete coverage of the window. Shutters shall be of high quality materials.



Permitted Awnings: Canvas



Permitted Awnings: Metal



Prohibited Awnings: Plastic

Figure 3.10 (5) Awnings

- b) Balconies. The following applies in all locations where balconies are incorporated into the facade design facing any street or parking lot.
    - i) Connection to Building. Balconies that are not integral to the facade shall be independently secured and unconnected to other balconies.
- 11) Additional Design Requirements. The following outlines the district design guidelines that affect a building’s appearance and district cohesiveness. They improve the physical quality of buildings, enhance the pedestrian experience, and protect the character of the neighborhood.
- a) Building Variety. Building design shall vary between vertical facade divisions, where required per the Building Types, and from adjacent buildings by the type of dominant material or color, scale, or orientation of that material and at least two of the following. Refer to Figure 3.11 (1) for one illustration of this requirement.

- i) The proportion of recesses and projections.
- ii) The location of the entrance and window placement, unless storefronts are utilized.
- iii) Roof type, plane, or material, unless otherwise stated in the Building Type requirements.



Figure 3.11 (1) Building Variety

#### 10-13-4 Open Space Types:

- I) General Requirements.
  - a) Intent. To provide open space as an amenity that promotes physical and environmental health within the community and to provide each household with access to a variety of active and passive open space types.
  - b) General Requirements. Development of parcels over 5 acres are required to provide 5% of total lot size as civic open space. Developer shall work with the City to determine the appropriate location of open space. For parcels under 5 acres, impact fees and other funding will be used as mechanisms to ensure adequate open space will be provided within each district. All open space shall meet the following requirements.
    - i) All open space provided within any Place Type shall comply with one of the Open Space Types defined by 10-13-4 2 through 10-13-4 6. However, alternate designs can be reviewed and approved by the Planning Commission. Continuous pedestrian walkways and trails may be a component of the Open Space.
    - ii) Access. All Public Open Space types shall provide public access from a vehicular right-of-way.
    - iii) Location. Open Space Types shall be platted as a lot or, with permission of the City, may be located within the right-of-way. Open Space Types shall be zoned with an open space zoning designation or an adjacent zoning designation.
    - iv) Ownership. Open Space Types may either be publicly or privately owned. Certain private open space types not addressed in this section, such as rooftop gardens or internal courtyards may be private, though they do not count toward required open space total.
    - v) Parking Requirements. Parking shall not be required for any Open Space Type, unless a use other than open space is determined by the Zoning Administrator.
    - vi) Continuity. Connections to existing or planned trails or open space types shall be made when the open space abuts an existing or planned trail right-of-way or other civic open space type.
  - c) Definition of Requirements. The following further explains or defines the requirements included in Tables 4.2 (I) through 4.6 (I) for each Open Space Type. Refer to each table for the specific requirements of each Open Space Type.
    - i) Size.
      - (1) Minimum Size. The minimum size of the Open Space Type is measured within the parcel lines of the property.
      - (2) Maximum Size. The maximum size of the Open Space Type is measured within the

- parcel lines of the property.
- (3) Minimum Dimension. The minimum length or width of the Open Space Type, as measured along the longest two straight lines intersecting at a right angle defining the maximum length and width of the lot. Refer to Figure 4.1 (1).
- ii) Site Access. The location and number of access points to the site, the interior circulation pattern, and the separation between pedestrians and vehicles shall be designed to maximize safety and convenience, and should be harmonious with proposed and neighboring buildings. Appropriate vehicular and pedestrian cross access agreements and easements shall be provided.
- iii) Improvements. The following types of development and improvements may be permitted on an Open Space Type.
  - (1) Designated Sports Fields Permitted. Sports fields, ball courts, or structures designated for one or more particular sports including, but not limited to, baseball fields, softball fields, soccer fields, basketball courts, football fields, tennis courts, climbing walls, and skate parks are permitted.
  - (2) Playgrounds Permitted. Playgrounds include a defined area with play structures and equipment.
  - (3) Fully Enclosed Structures Permitted. Fully enclosed structures may include such uses as park offices, maintenance sheds, community centers, and restrooms.
    - (a) Maximum Area. For some civic open space types, fully enclosed structures are permitted, but limited to a maximum building coverage as a percentage of the open space area.
    - (b) Semi-Enclosed Structures. Open-air structures, such as gazebos, are permitted in all open space types.
  - (4) Maximum Percentage of Open Water Body. The maximum amount of area within an Open Space Type that may be covered by an open water body, including, but not limited to, ponds, lakes, and pools.
- d) Stormwater in Open Space Types. Stormwater management practices, such as storage and retention facilities, may be integrated into Open Space Types and utilized to meet stormwater requirements for surrounding parcels.
  - i) Stormwater Features. Stormwater features in civic open space may be designed as formal or natural amenities with additional uses other than stormwater management, such as an amphitheater, sports field, or a pond or pool as part of the landscape design. Stormwater features shall not be fenced and shall not impede public use of the land they occupy.
  - ii) Qualified Professional. A qualified landscape design professional, such as a landscape architect or certified landscape designer, shall be utilized to incorporate stormwater features into the design of the civic open spaces.

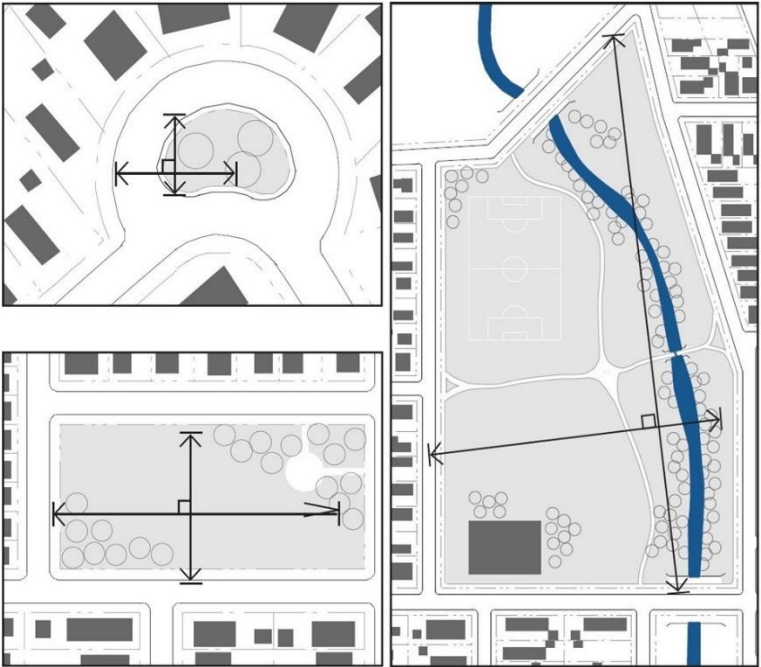


Figure 4.1 (1) Examples of Measuring the Minimum Dimension of Open Space Types

2) Plaza.

- a) Intent. To provide a formal Open Space of medium scale to serve as a gathering place for civic, social, and commercial purposes. Special features, such as fountains and public art installations, are encouraged.



Figure 4.2 (I) Typical Plaza Layout.

Plaza Requirements	
<b>i) Dimensions</b>	
Minimum Size (acres)	0.25
Maximum Size (acres)	2
Minimum Dimension (feet)	80'
Minimum % of Vehicular ROW Frontage Required	50%; 80% building frontage required on non-street frontage
<b>ii) Adjacent Parcels</b>	
Permitted Districts	All
Frontage Orientation of Adjacent Parcels	Front or Corner Side
<b>iii) Improvements</b>	
Designated Sports Fields Permitted	Not permitted
Playground Permitted	Permitted
Fully Enclosed Structures Permitted	Permitted; maximum 5% of area
Maximum % of Open Water	50%
<b>iv) Additional Design Requirements</b>	
(1) Minimum Building Frontage. At least 80% of the Plaza's perimeter that does not front on vehicular right-of-way shall be lined by building frontages.	
(2) Fully Enclosed Structures Permitted. Fully enclosed structures are permitted, and are allowed to cover a maximum of 5% of the total area of the Plaza	

Table 4.2

3) Square.

- a) Intent. To provide a formal Open Space of medium scale to serve as a gathering place for civic, social, and commercial purposes. Squares are rectilinear in shape and are typically bordered on all sides by a vehicular right-of-way, which together with building facades creates its definition.



Figure 4.3 (I) Typical Square Layout.

Square Requirements	
<b>i) Dimensions</b>	
Minimum Size (acres)	0.25
Maximum Size (acres)	3
Minimum Dimension (feet)	80'
Minimum % of Vehicular ROW Frontage Required	75%
<b>ii) Adjacent Parcels</b>	
Permitted Districts	All
Frontage Orientation of Adjacent Parcels	Front or Corner Side
<b>iii) Improvements</b>	
Designated Sports Fields Permitted	Not permitted
Playground Permitted	Not Permitted
Fully Enclosed Structures Permitted	Permitted; maximum 5% of area
Maximum % of Open Water	30%
<b>iv) Additional Design Requirements</b>	
(1) Fully Enclosed Structures Permitted. Fully enclosed structures are permitted, and are allowed to cover a maximum of 5% of the total area of the Square	

Table 4.3

- 4) Green.
  - a) Intent. To provide informal, medium scale active or passive recreation for neighborhood residents within walking distance, mainly fronted by streets.



Figure 4.4 (I) Typical Green Layout.

Green Requirements	
<b>i) Dimensions</b>	
Minimum Size (acres)	0.50
Maximum Size (acres)	2
Minimum Dimension (feet)	45'
Minimum % of Vehicular ROW Frontage Required	75%; 50% for over 1.25 acres
<b>ii) Adjacent Parcels</b>	
Permitted Districts	All
Frontage Orientation of Adjacent Parcels	Front or Corner Side
<b>iii) Improvements</b>	
Designated Sports Fields Permitted	Not permitted
Playground Permitted	Permitted
Fully Enclosed Structures Permitted	Not permitted
Maximum % of Open Water	30%
<b>iv) Additional Design Requirements</b>	

Table 4.4

- 5) Commons.
  - a) Intent. To provide an informal, small to medium scale space for active or passive recreation for a limited neighborhood area. Commons are typically internal to a block and tend to serve adjacent residents.



Figure 4.5 (I) Typical Commons Layout.

Commons Requirements	
<b>i) Dimensions</b>	
Minimum Size (acres)	0.20
Maximum Size (acres)	1.5
Minimum Dimension (feet)	45'
Minimum % of Vehicular ROW Frontage Required	0%; 2 access points required, minimum width each of 20'
<b>ii) Adjacent Parcels</b>	
Permitted Districts	All
Frontage Orientation of Adjacent Parcels	Side or Rear
<b>iii) Improvements</b>	
Designated Sports Fields Permitted	Not permitted
Playground Permitted	Permitted
Fully Enclosed Structures Permitted	Not permitted
Maximum % of Open Water	30%
<b>iv) Additional Design Requirements</b>	

(1) Access Points. Commons shall have a minimum of two access points from a vehicular right-of-way. Each access point shall have a minimum width of 20'

Table 4.5

- 6) Pocket Park Open Space Type.
  - a) Intent. To provide small scale, primarily landscaped active or passive recreation and gathering space for neighborhood residents within walking distance.



Figure 4.6 (1) Typical Pocket Park Layout.

Pocket Park Requirements	
<b>i) Dimensions</b>	
Minimum Size (acres)	0.10
Maximum Size (acres)	1
Minimum Dimension (feet)	None
Minimum % of Vehicular ROW Frontage Required	30%
<b>ii) Adjacent Parcels</b>	
Permitted Districts	All
Frontage Orientation of Adjacent Parcels	Any
<b>iii) Improvements</b>	
Designated Sports Fields Permitted	Not permitted
Playground Permitted	Permitted
Fully Enclosed Structures Permitted	Not permitted
Maximum % of Open Water	30%
<b>iv) Additional Design Requirements</b>	

Table 4.6

**10-13-5 Landscaping:**

- 1) General Requirements.
  - a) Intent. The landscape standards outlined in this section are designed to meet the following set of goals.
    - i) To provide for healthy, long-lived street trees within all public ways to improve the appearance of streets and to create a buffer between pedestrian and vehicular travel lanes.
    - ii) To increase the compatibility of adjacent uses and minimize the adverse impacts created by adjoining or neighboring uses.
    - iii) To promote the prudent use of water and energy resources by achieving and maintaining sustainable, functional landscapes.
    - iv) To shade large expanses of pavement and reduce the urban heat island effect.
  - b) Applicability. Landscaping, trees, and buffers shall be installed as detailed in this section.
    - i) General Compliance. Application of this section to existing uses shall occur with the following developments.
      - (1) Any development of new or significant improvements to existing parking lots, loading facilities, and driveways. Significant improvements include new driveways, new spaces, new medians, new loading facilities, or complete reorganization of the parking and aisles.
      - (2) Alteration to an existing principal or accessory structure that results in a change of 30% or more in the structure’s gross floor area.
    - ii) Buffers. Landscape buffers are required according to the provisions in this section with the following exceptions.
      - (1) Shared Driveways. Buffers shall not be required along a property line where a curb cut or aisle is shared between two adjoining lots.
      - (2) Points of Access. Buffering is not required at driveways or other points of access to a lot.
    - iii) Temporary Uses. These provisions do not apply to temporary uses, unless determined otherwise by the Zoning Administrator.
- 2) Landscaping Option
 

Developer has the choice of which of the following two (2) Section they would like to

implement:

## SECTION I

- I) Site Landscaping and Screening Treatments. Landscape improvements should mitigate building and parking lot impact, add aesthetic interest, and character. Landscaping is an integral element of site development. Landscaping should complement the architecture of the building and provide visual interest and variety, provide screening elements, add to year round site beautification, highlight building design features, and conserve water. The minimum landscaping requirement is 10%. Landscape designers shall recognize the following landscape design principles with the Landscape Plan(s) materials:
  - a) Landscape Buffers. Landscape buffers between dissimilar or conflicting land uses shall be provided. Landscape buffers shall be provided for off-street parking and service areas and streetscape landscape buffer areas shall be provided on the perimeter of all proposed Site Plans, as required by the Zoning Administrator or Commission.
  - b) Internal Parking Lot Landscaping. To minimize the environmental and visual impacts created by large areas of off street parking hard surfacing all off street parking areas shall be designed and constructed to meet the following minimum landscape requirements. Site Plan Application approval by the Zoning Administrator or Commission may require additional parking area landscaping to achieve the purposes of this Ordinance.
    - i) Minimum Internal Parking Area Landscaping. All off street parking areas, providing twenty (20) or more parking spaces shall provide a minimum of five percent (5%) of the total parking area as landscape treatments. Areas to be landscaped may include;
      - (1) Traffic islands separating adjacent parking spaces.
      - (2) Peninsulas parallel to individual parking spaces.
      - (3) Planter areas located at the ends of parking rows or other planter areas located within the off street parking area.
    - ii) The area provided for off street parking shall be the greatest area defined by the distance from the curb-lines or edges of the outermost parking space, aisle, or driveways.
    - iii) No required setback areas shall be included as meeting the required parking area landscaping as required by this Section.
    - iv) All required landscaped areas shall be provided with a permanent and adequate means of irrigation and regularly maintained, including weed control.
    - v) All parking lot hard surfacing shall provide a sufficient area around all trees and landscaping to permit water absorption and prevent soil compaction.
    - vi) Off-street parking areas shall be screened by landscaped areas and/or screening walls.
  - c) Landscape Materials. All proposed plants and landscape materials shall be consistent with (but not uniform) and of a similar scale with existing natural landscape, neighboring landscape, and adjacent streetscape areas where appropriate. Drought tolerant plant materials are encouraged. Landscaping improvements may also include berming, contouring, rocks, and boulders.
  - d) Native Vegetation Materials. All landscape plans are encouraged to use vegetation, native to northern Utah.
  - e) Plant Size, Spacing, and Scale. The size and spacing of landscape elements shall be consistent and establish a coordinated relationship to any existing or proposed streetscape plantings. The size and spacing of landscape elements shall also be of appropriate scale and character to all proposed site structures and features.
  - f) Screening Walls, Fences, and Other Visual Barriers. Walls, fences, and barriers that create a continuous surface greater than twenty (20) feet in length shall be

softened visually with acceptable landscaping. All walls and fences shall conform to the major architectural style of the Site Plan.

- g) Non-vegetative Ground Cover. Non-vegetative ground cover treatments may include boulders, small stones less than ½ inch in diameter and bark and mulch. Areas of non-vegetative ground cover materials shall be broken up and interspersed with plant materials.
- h) Landscape Maintenance. All landscape plans shall include necessary irrigation plans and shall demonstrate that long-term landscape maintenance has been considered in the landscape design.

## SECTION 2

- I) Installation of Landscape.
  - a) Intent. The following provisions aid in ensuring that all required landscaping is installed and maintained properly.
  - b) Applicability. These provisions apply to landscape installation as required by this section.
  - c) General Installation Requirements. The installation of landscaping shall adhere to the following standards.
    - i) National Standards. Best management practices and procedures according to the nationally accepted standards shall be practiced.
      - (1) Installation. All landscaping and trees shall be installed in conformance with the practices and procedures established by the most recent edition of the American Standard for Nursery Stock (ANSI Z60.1) as published by the American Association of Nurserymen.
      - (2) Maintenance and Protection. All landscaping and trees shall be maintained according to the most recent edition of the American National Standards Institute, including its provisions on pruning, fertilizing, support systems, lighting protection, and safety.
    - ii) Installation. Landscaping shall be fully installed prior to the issuance of a certificate of completeness.
      - (1) If seasonal conditions preclude the complete installation, a cash escrow or irrevocable letter of credit, equal to 1.5 times the installation costs as estimated by a qualified professional.
      - (2) Complete installation is required within nine months of the issuance of the temporary certificate of completeness or occupancy permit or the cash escrow or letter of credit may be forfeited.
  - d) Ground Plane Vegetation. All unpaved areas shall be covered by one of the following.
    - i) Planting Beds.
      - (1) Planting beds may include shrubs, ornamental grasses, ground cover, vines, annuals, or perennials.
      - (2) Nonliving materials, such as pine straw, colored gravel, or mulch, are permitted for up to 50% of a bed area.
      - (3) Annual beds must be maintained seasonally, replanting as necessary.
    - ii) Grass. Seeded, plugged, or sodded grass may be planted throughout landscaped areas.
      - (1) Grass shall be established within 90 days of planting or the area must be reseeded, replugged, or resodded.
  - e) Tree Installations. Trees planted in the public right-of-way, such as street trees, must be selected from the list of permitted tree types, available from Roy City Parks and Recreation Department.
  - f) Irrigation Systems. Permanent irrigation, beyond establishment, is required and shall adhere to the following standards.
    - i) All irrigation systems shall be designed to minimize the use of water.
    - ii) Non-residential landscape irrigation shall have an automatic clock-activated

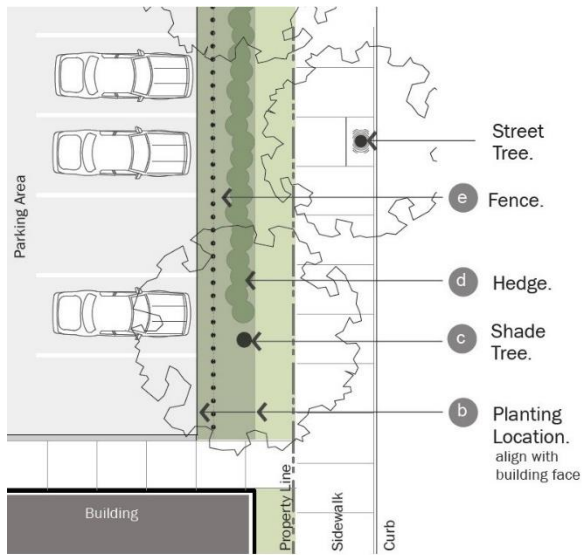
- permanent system.
- iii) The irrigation system shall provide sufficient coverage to all landscape areas.
- iv) The irrigation system should not spray or irrigate impervious surfaces, including sidewalks, driveways, streets, and parking and loading areas.
- v) All systems shall be equipped with a back-flow prevention device.
- vi) All mechanical systems including controllers and back-flow prevention devices shall be properly screened from public view
- g) Maintenance of Landscape. All landscaping shall be maintained in good condition at all times to ensure a healthy and orderly appearance.
  - i) All required landscape shall be maintained to adhere to all requirements of this ordinance.
  - ii) Replacing Unhealthy Landscaping. Unhealthy landscaping shall be replaced with healthy, live plants by the end of the next applicable growing season. This includes all plant material that shows dead branches over a minimum of 25% of the normal branching pattern.
  - iii) Maintenance Responsibility. The owner is responsible for the maintenance, repair, and replacement of all landscaping, screening, and curbing required herein.
  - iv) Maintain Quality and Quantity. Maintenance shall preserve at least the same quantity, quality, and screening effectiveness as initially installed.
  - v) Fences and Other Barriers. Fences, walls, and other barriers shall be maintained in good repair and free of rust, flaking paint, graffiti, and broken or damaged parts.
  - vi) Tree Topping. Tree topping is not permitted. When necessary, crown reduction thinning or pruning is permitted.
  - vii) City Inspection. All landscaped areas regulated by this ordinance may be inspected by the City.

2) Frontage Buffer.

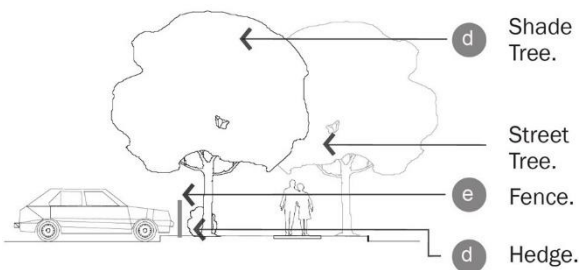
a) Intent & Applicability.

- i) Intent. To lessen the visual impact of vehicular areas visible from the street.
- ii) General Applicability. Applies to properties in all Districts where a vehicular area is located adjacent to a right-of-way.

(1) Exceptions. Vehicular areas along alleys, except when a residential district is located across the alley; Single and two family residences.



a) 7' Buffer.  
Front Buffer Plan



Front Buffer Section

Figure 5.2 (1). Frontage Buffer Plan and Section.

**Frontage Buffer Requirements**

**i) Buffer Depth & Location<sup>1</sup>**

Depth	7'	a
Location on the Site	Between street facing property line and parking area <sup>2</sup>	b

**ii) Buffer Landscape Requirements**

Uses & Materials	Uses and materials other than those indicated	
Shade Trees	Medium or large shade tree required at least every 40'; Locate on the street side of the fence; Spacing should alternate with street trees	c
Hedge	Required continuous hedge on street side of fence, between shade trees & in front of vehicular areas.	d
Hedge Composition	Individual shrubs with a minimum width of 24", spaced no more than 36" on center, height maintained no more than 42"	
Existing Vegetation	May be credited towards buffer area	

**iii) Fence**

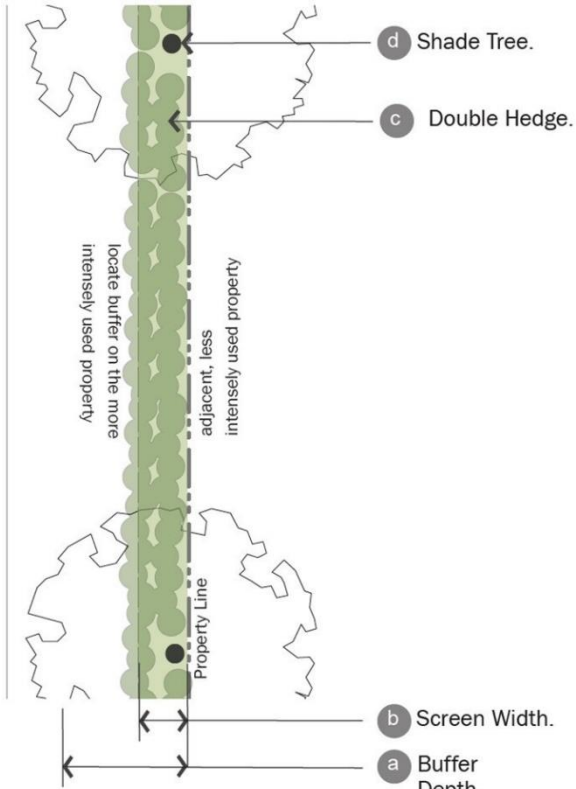
Location	2' from back of curb of vehicular area	e
Materials	Steel or colored PVC; Masonry columns (maximum width 2'6") and base (maximum 18" height) permitted	
Minimum Height	3'	
Maximum Height	4'	
Colors	Black, gray, or dark green	
Opacity	Minimum 30%; Maximum 60%	
Gate/Opening	One gate permitted per street frontage; Opening width maximum 6'	

**Notes**

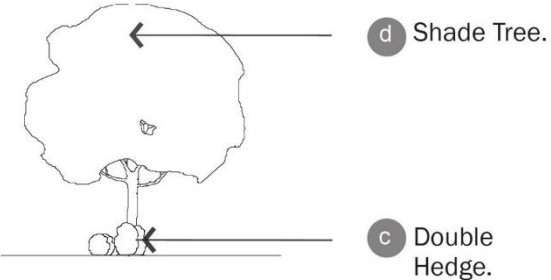
- 1 – This screening requirement does not prohibit the installation of or provision for openings necessary for allowable access drives and walkways connecting to the public sidewalk
- 2 – In front, corner, and rear yards (on a through lot), when the parking area is located adjacent to any building on the lot, the buffer must be located so that it aligns with or is behind the face of the adjacent building back to the vehicular area. The area between the buffer and the property line must be landscaped.

Table 5.2

- 3) Side & Rear Buffer.
  - a) Intent & Applicability.
    - i) Intent. To minimize the impact of new development on existing single family residential neighborhoods.
    - ii) General Applicability. Any parcel that abuts a parcel containing an existing single family residence.



Front Buffer Plan



Front Buffer Section

Figure 5.3 (I). Frontage Buffer Plan and Section.

Side & Rear Buffer Requirements	
<b>i) Buffer Depth &amp; Location</b>	
Depth	10' <span style="float: right;">a</span>
Location on the Site	Buffer is measured from side and rear property lines.
<b>ii) Required Landscape Screen</b>	
Width	5' landscape screen in addition to any other buffer landscaping <span style="float: right;">b</span>
Location	Directly adjacent to the rear or side property line
Hedge	Continuous double row shrubs required between shade trees
Hedge Composition	Double row of individual shrubs with a minimum width of 24", spaced no more than 36" on center, Mature height in one year of 24" <span style="float: right;">c</span>
Hedge Frequency	Minimum of 15 shrubs per 100' of property line is required
Shade Trees	At least 1 medium or large shade tree per every 40' within the buffer <span style="float: right;">d</span>
<b>iii) Fence</b>	
Uses and Materials	Uses and materials other than those indicated in table 4.2 are prohibited with the buffer
Tree Canopy Coverage	1 medium or large shade tree required per 2,000 sq.-ft. of buffer, excluding the area within the required landscape screen
Existing Vegetation	May be credited towards buffer area

Notes

I – Planning Commission may reduce width of buffer, width of landscape screen, or location of landscape screen based on existing landscaping and topography

Table 5.3

- 4) Interior Parking Lot Landscape.
  - a) Intent & Applicability.
    - i) Intent. To provide shade, minimize paving & associated stormwater runoff, & improve the aesthetic look of parking lots.
    - ii) General Applicability. All open-air, off-street parking lots in all Districts.
    - iii) Other Internal Parking Lot Areas. Internal areas not dedicated to parking or drives shall be landscaped with a minimum of one medium or large shade tree for the first 150 square feet and one medium or large shade tree for every 650' thereafter.
    - iv) Existing Vegetation. Existing vegetation may be credited toward these requirements.

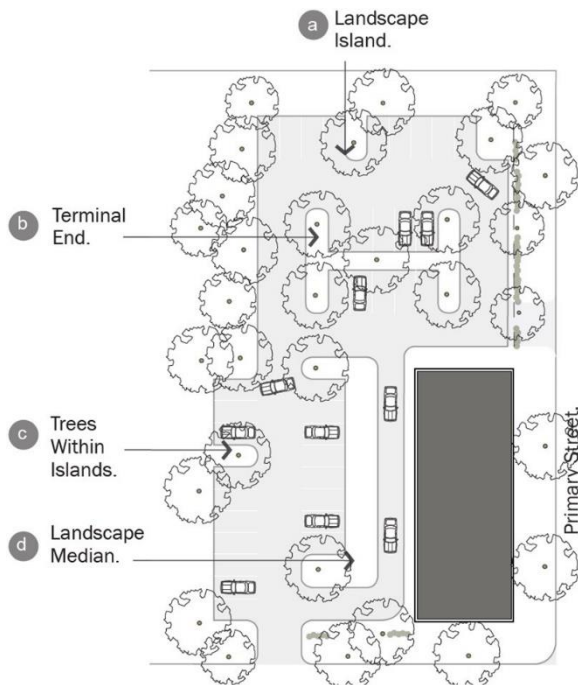


Figure 4.6 (1). Interior Parking Lot Landscaping.

Tree Size	Estimated Canopy at Maturity (sq.-ft.)	Estimated Height at Maturity (ft.)
Very Small	150	under 15'
Small	400	15' – 25'
Medium	900	25' – 40'
Large	1,600	40' +

Table 5.4 (1). Estimated Canopy and Height at Maturity

Interior Parking Lot Landscaping Requirements	
<b>i) Landscape Island Requirements</b>	
Required Island Locations	Terminal ends <sup>3</sup> of free standing rows or bays of parking; After every nine parking space for rows of parking greater than 8 spaces in length <sup>2</sup>
Minimum Width	5'; Islands less than 15' must utilize structural soil under any paved surface within a tree's critical root zone; Islands under 9' must install an aeration system and utilize permeable pavement
Require Trees Within Islands	Minimum of 1 medium or large shade tree per island
<b>ii) Buffer Landscape Requirements</b>	
Required Median Location	Required in each free-standing bay of parking along the length of the bay
Minimum Width	5" Medians less than 15' must utilize structural soil under any paved surface within a tree's critical root zone; Islands under 9' must install an aeration system and utilize permeable pavement
<b>iii) Tree Requirements</b>	
Requirements per Parking Space <sup>4</sup>	Each parking space must be located within 50' of a tree planted within parking lot interior Minimum of 1 shade tree must be planted within parking lot interior of within 4' of parking lot's edge for every 3 parking spaces
Tree Shade Goal	Within 20 years of tree installation, 30% of the interior of the parking lot should be shaded by tree canopy. Refer to Table 4.6 (1) for calculations

**Notes**

- 1 – Parking lot interior is defined as the area dedicated to parking on a given parcel as measured from edge of pavement to edge of pavement
- 2 – Freestanding row or bays of parking are those not abutting the parking lot perimeter or building face, and may have a single or double row of parking.
- 3 – There shall be no more than 8 continuous parking spaces in a row without a landscape island
- 4 – Trees within a designed buffer area may not be utilized to meet these requirements.

Table 5.4

- 5) Screening of Open Storage, Refuse Areas, and Utility Appurtenances.
  - a) Intent & Applicability.
    - i) Intent. To reduce the visibility of open storage, refuse areas, and utility appurtenances from public areas and adjacent properties.
    - ii) General Applicability. All dumpsters, open storage, refuse areas, and utility appurtenances in all Districts.

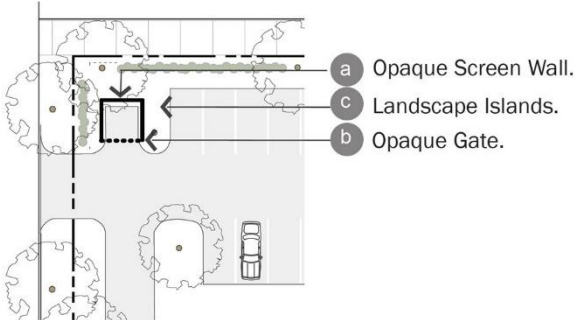


Figure 5.5 (1). Screening of Open Storage & Refuse Areas.

Screening of Open Storage, Refuse Areas & Utility Appurtenances	
i) Open Storage & Refuse Area Screening Requirements	
Location on the Site	Not permitted in front or corner side yards
Opaque Screen Wall <sup>1</sup>	Required around 3 sides of the dumpster and trash bin area <b>a</b>
Screen Wall Height	Height shall be the higher of the following: <ol style="list-style-type: none"> <li>1. 6'</li> <li>2. Height of use to be screened</li> <li>3. Height as determined by City to accomplish objective of the screen</li> </ol>
Visible Openings	Openings visible from the public way or adjacent properties must be furnished with opaque gates. <b>b</b>
Landscape requirements	If refuse area is located within larger paved area, such as parking lot, landscape islands must be located on 3 sides of the area, with at least 1 medium or large shade tree in a least 1 of the landscape areas <sup>2</sup> <b>c</b>
ii) Utility Appurtenance Screening Requirements	
Large Private Mechanical Equipment <sup>3</sup>	Shall be fenced with opaque wood or brick-faced masonry on all sides facing right-of-way
Small Private Mechanical Equipment <sup>4</sup>	Shall have landscape screening and a shrub bed containing shrubs spaced no more than 36" on center

- Notes**
- 1 – Vertical structured barrier to visibility at all times such as a fence or wall
  - 2 – This tree, if located within 50' of a parking space, may be utilized to meet the minimum shade requirements
  - 3 – Large private mechanical equipment is equal to or greater than 4' in height
  - 4 – Small private mechanical equipment is equal to or smaller than 4' in height

Table 5.5

## 10-13-6 Parking:

- 1) General Requirements.
  - a) Intent. The following provisions are established to accomplish the following:
    - i) Ensure an appropriate level of vehicle parking, loading, and storage to support a variety of land uses.
    - ii) Provide appropriate site design standards to mitigate the impacts of parking lots on adjacent land uses and zoning districts.
    - iii) Provide specifications for vehicular site access.
- 2) Parking Requirements.
  - a) General Requirements for Parking. Off-street parking spaces shall be provided in conformance with Tables 6.2 (1) Required Vehicular Parking and 6.2 (2) Bicycle Parking.
    - i) Required Accessible Parking. Parking facilities accessible for persons with disabilities shall be in compliance with or better than the standards detailed in the state Accessibility Code, including quantity, size, location, and accessibility.
    - ii) Requirements for Unlisted Uses. Upon receiving a site plan approval, occupancy certificate, or other permit application for a use not specifically addressed in this section, the Zoning Administrator is authorized to apply off-street parking standards specified for the Use deemed most similar to the proposed Use. In instances where an equivalent may not be clearly determined, the Zoning Administrator may require the applicant to submit a parking study or other evidence that will help determine the appropriate requirements.
    - iii) Private Off-Premises Parking. Where private off-site parking facilities are approved, such facilities shall be in the same possession as the zoning lot occupied by the building or use to which the parking facilities are accessory
      - (1) Such possession may be either by deed or lease, guaranteeing availability of the parking commensurate with the use served by the parking.
      - (2) The agreement providing for the use of off-site parking, executed by the parties involved, shall be in a form approved by the City Attorney and filed with the Zoning Administrator.
      - (3) The deed or lease shall require the owner to maintain the required number of parking facilities for the duration of the use served or of the deed or lease, whichever shall terminate sooner.
      - (4) Location Parking. Any off-premise parking must be within 660 feet from the entrance of the use to the closest parking space measured along a dedicated pedestrian path.
  - b) Required Vehicular and Bicycle Parking. Tables 6.2 (1) and (2) outline the required vehicular and bicycle parking requirements.
    - i) Organized by Use. The parking requirements are organized by use, in a similar fashion to Table 1.1 (1) Use Table in 10-13-2 Uses.
      - (1) Parking rates are provided for general use categories; these numbers are applicable for all of the uses within these categories.
      - (2) If a specific use requires a different parking rate than its use category, it is also listed in Tables 6.2 (1) and 6.2 (2) Required Vehicular and Bicycle Parking.
    - ii) Vehicular Spaces Required. The vehicular spaces required column indicates the required off-street parking ratio, which may be subject to credits and other reductions and a maximum number, as are detailed in this section.
    - iii) Maximum Allowable Vehicular Spaces. When a use requires more than 20 spaces, it is not permitted to provide greater than 25% over the minimum parking requirement.
      - (1) For those uses with no requirements, the maximum number of spaces required should be no more than the next level up of that use. For example, for Neighborhood Retail, the number of spaces should be no more than the requirements for General Retail.

Use	Required Vehicle Space
<b>Residential</b>	
Single-Family, all sizes, or Multi-family 1 Bedroom	1 / Dwelling Unit
Multi-family, 2 Bedrooms	1.5 / Dwelling Unit
Multi-family, 3 or 3+ Bedrooms	2 / Dwelling Unit
Hotel & Inn	1 / Room & 1 / 200 sq.-ft. Office and Dining Room
Residential Care	.33 / Unit & .66 / Employee
<b>Civic Institutional</b>	
Assembly	1 / 5 Seats
Transit Station	Per Zoning Administrator
Hospital	.20 / Bed & .66 / Employee
Library / Museum / Post Office (no distribution)	1 / 600 sq.-ft.
Police & Fire	Per Zoning Administrator
Post Office (distribution)	1 / 400 sq.-ft.
School: pre K to Jr. High	1 / Classroom & 1 / 200 sq.-ft. Office
School: High School, Higher Education	1 / Classroom, 1 / 200 sq.-ft. Office & .17 / Student

Use	Required Vehicle Space
<b>Retail</b>	
Neighborhood Retail	1 / 300 sq.-ft.
General Retail	1 / 300 sq.-ft.
Outdoor Sales Lot	1 / 250 sq.-ft. of Sales Area, with 1 / 10 Vehicle Display
<b>Service</b>	
Neighborhood Service	1 / 250 sq.-ft.
General Service	1 / 250 sq.-ft.
Eating & Drinking Establishments	1 / 3 seats + 1 / 3 employees
Vehicle Services	2 / Service Bay & 1 / 200 sq.-ft. of retail
<b>Office &amp; Industrial</b>	
Neighborhood, General Office	1 / 200 sq.-ft.
Craftsman Industrial	1 / 1,000 sq.-ft. of Production Space & 1 / 500 sq.-ft. of Retail Space
<b>Open Space &amp; Recreation</b>	
Open Space & Recreation	Per Zoning Administrator

Table 6.2 (1). Required Off-Street Vehicular Parking

- iv) **Required Bicycle Parking.** The Required Bicycle Parking Table 6.2 (2) indicates the minimum bicycle parking ratio for a given use.

Use	Bicycle Spaces
Multi-family	Minimum 2 spaces or .05 spaces / bedroom, whichever is greater
Civic / Institutional	Minimum 2 spaces, 1 / additional 10,000 sf
Retail	Minimum 2 spaces, 1 / additional 5,000 sf
Services	Minimum 2 spaces, 1 / additional 5,000 sf
Office	Minimum 2 spaces, 1 / additional 10,000 sf
Open Space	Per Zoning Administrator

Table 6.2 (2). Required Bicycle Parking.

- v) **Computation.** Off-street parking spaces shall be calculated using the following information.
  - (1) **Area Measurements.** The following units of measurements shall be utilized to calculate parking requirements.
    - (a) **Dwelling Unit.** Parking standards for residential buildings shall be computed using dwelling unit as the unit of measure, unless otherwise stated.
    - (b) **Gross Square Footage.** Unless otherwise expressly stated, parking standards for non-residential Uses shall be computed on the basis of gross floor area in square feet.
    - (c) **Occupancy- or Capacity-Based Measurements.** Parking spaces required per available seat or per employee, student, or occupant shall be based on the greatest number of persons on the largest shift, the maximum number of students enrolled, or the maximum fire-rated capacity, whichever measurement is applicable.
    - (d) **Bench Seating.** For uses in which users occupy benches, pews, or other similar seating facilities, each 24 inches of such seating shall be counted as one seat.
  - (2) **Fractions.** When computation of the number of required off-street parking spaces results in a fractional number, any result of 0.5 or more shall be rounded up to the next consecutive whole number. Any fractional result of less than 0.5 may be rounded down to the previous consecutive whole number.
  - (3) **Multiple Uses on a Lot.** When there are multiple uses on a lot, required spaces shall be calculated as an amount equal to the total requirements for all uses on the lot,

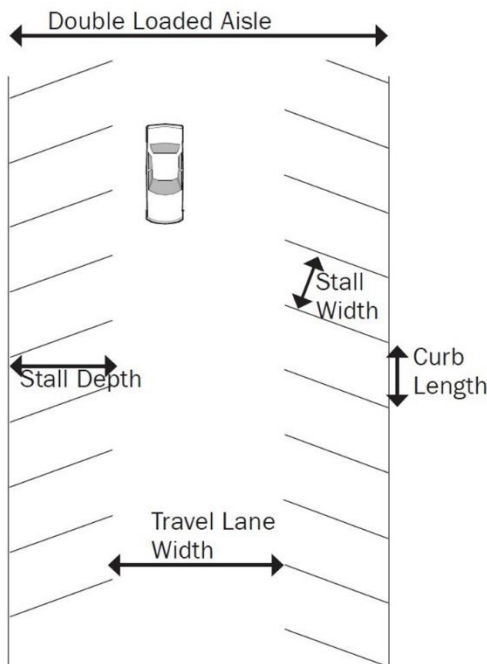
unless the uses qualify for shared, cooperative, or other credits to reduce parking. Refer to 5.2 (3).

Use Category	Weekdays			Weekends		
	Midnight to 7:00 am	7:00 am to 6:00 pm	6:00 pm to Midnight	Midnight to 7:00 am	7:00 am to 6:00 pm	6:00 pm to Midnight
Residential	100%	50%	80%	100%	80%	80%
Retail & Service	5%	100%	80%	5%	100%	60%
Hotel & Inn	100%	65%	100%	100%	65%	100%
Place of Worship	0%	30%	50%	5%	100%	75%
Eating & Drinking Establishment	50%	70%	100%	70%	60%	100%
Office	5%	100%	5%	5%	5%	5%
Theater / Entertainment	5%	30%	100%	5%	80%	100%

Table 6.2 (3). Cooperative or Shared Vehicular Parking Spaces

- c) **Multiple Use Reductions.** The following reductions may be taken for multiple non-residential uses.
- i) **Shared Vehicular Parking.** An arrangement in which two or more non-residential uses with different peak parking demands use the same off-street parking spaces to meet their off-street parking requirements.
    - (1) **General Provisions.** Through review of the site plan the Zoning Administrator may permit up to 100% of the parking required for a daytime use to be supplied by the off-street parking spaces provided for a nighttime or Sunday use and vice versa.
    - (2) **Approval.** In order to approve a shared parking arrangement, the Zoning Administrator must find, based on competent evidence provided by the applicant, that there is no substantial conflict in the principal operating hours of the uses for which the sharing of parking is proposed.
    - (3) **Description of Uses with Weekday, Nighttime, and Sunday Peak Parking.**
      - (a) The following uses are considered predominantly weekday uses: office and industrial uses and other similar uses as authorized by the Zoning Administrator.
      - (b) The following uses are typically considered predominantly nighttime or Sunday uses: eating and drinking establishments, assembly uses, and other similar uses with peak activity at night or on Sundays, as authorized by the Zoning Administrator.
  - ii) **Cooperative Vehicular Parking.** When two or more categories of non-single family residential uses share a parking lot and are located on the same lot or adjacent lots, the following applies:
    - (1) **General Provisions.** Cooperative parking will be approved in accordance with the following. Refer to Table 6.2 (3).
    - (2) For each applicable land use category, calculate the number of spaces required as if it were the only use. Refer to Table 6.2 (1).
    - (3) Use the figures for each individual land use to calculate the number of spaces required for that use for each time period specified in Table 6.2 (3). This table establishes six time periods per use.
    - (4) For each time period, add the number of spaces required for all applicable land uses to obtain a grand total for each of the six time periods.
    - (5) Select the time period with the highest total parking requirement and use that as the total number of parking spaces required and use that as the total number of parking spaces required for the site on a share parking basis.
  - iii) **Uses in Different Buildings.** Through review of the site plan the Zoning Administrator may approve the cooperative agreement if any of the uses are not located in the same structure or building.
  - iv) **Location of Cooperative Parking.** Any cooperative parking must be within 660 feet for Commercial and 220' for Residential from the entrance of the use to the closest parking

- space within the cooperative parking lot, measured along a dedicated pedestrian path.
- v) Off-Site Cooperative Parking Agreement. An agreement approved by the City Attorney providing for cooperative use of off-site parking spaces, executed by the parties involved, shall be reviewed by the Zoning Administrator during review of the site plan.
  - (1) Off-site cooperative parking arrangements shall continue in effect only as long as the agreement remains in force.
  - (2) If the agreement is no longer in force, then parking must be provided as otherwise required in this section.
- 3) Parking Design Standards.
  - a) Vehicular Off-Street Parking Lots. The design or redesign of all off-street parking facilities shall be subject to the site plan approval procedure.
    - i) Vehicular Parking Space Dimensions. The appropriate dimensions for parking spaces are outlined in Table 6.3 (1) Parking Space Dimensions and Figure 6.3 (1) Parking Lot Layout.
      - (1) The width of a parking space shall be measured from the center of a stripe.
      - (2) Each space shall have a vertical clearance of at least seven feet.



Angle (degrees)	Curb Length (feet)	Stall Width (feet)	Stall Depth (feet)	Travel Lane Width One-Way (feet)	Travel Lane Width Two-Way (feet)
0	24	8.5	-	12	20
45	12.75	9	13.5	13	20
60	10.5	9	18.25	18	20
90	9	9	20	24	22

Note:

1 – Stall depth may be reduced 2' when a stall directly abuts an interior parking lot median that includes an additional area beyond the minimum width, permitting the overhang of the adjacent parked vehicle's front bumper

Table 6.3 (1). Parking Space Dimensions

Figure 6.3 (1). Parking Lot Layout

- ii) Wheel Stops. Install wheel stops or bumper guards when parking is adjacent to a pedestrian pathway to limit vehicle overhang that reduces the sidewalk width. Such stops or guards shall be properly anchored or secured.
- iii) Location of Parking. Refer to 10-13-3 Building Type Standards for information on the location of parking facilities.
- iv) Access. All off-street parking and loading facilities shall open directly onto an aisle, alley, or driveway designed to provide safe access to such facilities. Exceptions include:
  - (1) Parking Lifts. The lift exit shall meet the access requirement.
- v) Edge of Lot and Drives. All curb and gutter shall be located a minimum of 3 feet from any adjacent property line or right-of-way.
- vi) Slopes. All parking and driveway or sidewalk access shall meet the requirements of the Utah Accessibility Code.
- vii) Landscape Screening. All parking areas shall meet the requirements of in 10-13-5 Landscape Standards.
- viii) Landscape Areas. Areas not used specifically for sidewalks, parking spaces, driving aisles, loading, or refuse shall not be paved. Areas striped with diagonal striped islands are not permitted.

- ix) Pavement Construction. All parking and driveways shall be constructed using asphalt, concrete, pavers, or other semi-pervious material approved by the Zoning Administrator.
- x) Illumination. All off-street parking lots or parking structures shall provide a level of illumination at any point in the parking lot or structure not less than one foot-candle measured at the pavement. All lighting shall be shielded or otherwise optically controlled to provide glare-less illumination and limit trespass on adjacent properties.
- b) Pedestrian Access. All parking lots with two or more double-loaded aisles shall provide internal pedestrian pathway(s) within the parking area and outside of the parking drive aisle.
  - i) Dimension. The pathway shall be a minimum of six feet in width.
  - ii) Quantity. One pathway is required for every three double loaded aisles.
  - iii) Location. The pathway shall be centrally located within the parking area to serve a maximum number of parking stalls.
    - (1) Pathways shall provide direct connections to the principal structure(s) entrances from the spaces furthest from the entrance.
    - (2) At least one pathway shall provide a direct connection between adjacent vehicular rights-of-way and/or trails and the principal structure's entrance.
  - iv) Pathway Delineation. Pedestrian pathways should be clearly marked with striping or through the use of alternative materials, such as pavers. Refer to Figure 6.3 (2).

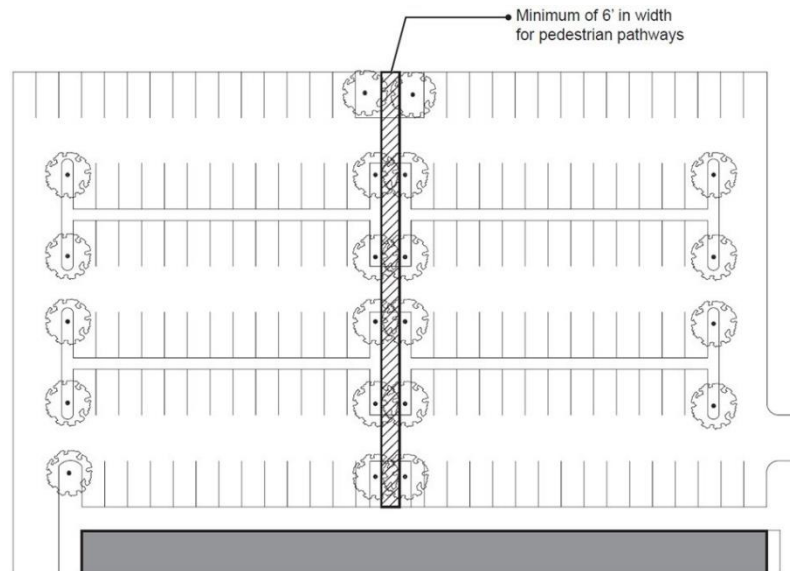


Figure 6.3 (2). Parking Lot Pedestrian Walkway

- c) Bicycle Parking Design. Bicycle parking (refer to Table 6.2 (2) Required Bicycle Parking for quantity required) shall be designed and located as follows.
  - i) Dimensions.
    - (1) Required bicycle parking spaces shall have minimum dimensions of two feet in width and six feet in length.
    - (2) An aisle a minimum of five feet wide shall be provided behind bicycle parking facilities to allow for maneuvering.
    - (3) A minimum of two feet shall be provided beside each parked bicycle to allow access. This access may be shared by adjacent bicycles.
    - (4) Racks shall be installed a minimum of two feet from any wall or other obstruction.
  - ii) Location. Bicycle parking should be located within 50 feet of the entrance of the use.
    - (1) Indoor or outdoor spaces are permitted, provided they are located on the lot with which they are associated.
    - (2) Spaces located within individual dwelling units may not be counted toward bicycle parking requirements.
  - iii) Bicycle parking facilities shall be separated from vehicular parking areas to protect parked bicycles from damage. The separation may be accomplished through grade

- separation, distance or physical barrier, such as curbs, wheel stops, poles or other similar features.
  - iv) Racks and Structures. Racks and structures shall be provided for each unprotected parking space, and shall be designed to accommodate both chain and U-shaped locking devices supporting the bicycle frame at two points.
  - v) Signage. If required bicycle parking for public use is not visible from the street, signs must be posted indicating their location.
  - vi) Long Term Parking. For multifamily residential uses, half of the bicycle parking spaces should be provided as long term parking, and protected from the elements.
- 4) Loading Requirements.
- a) General Requirements. All loading facilities shall adhere to the following requirements, unless otherwise approved during Site Plan Approval
    - i) Use of Off-Street Loading Areas. Space allocated to any off-street loading use shall not be used to satisfy the space requirements for any off-street parking facilities or portions thereof.
    - ii) Location. Unless otherwise specified, all required loading facilities shall be located on the same lot as the use to be served. No loading space shall block or project into a street, alley, access drive, or parking area.
    - iii) Building Frontage. Loading facilities shall be located per 10-13-3 Building Type requirements.
    - iv) Access. Loading facilities shall have clear access onto an alley or be connected to an alley or street via a driveway.
      - (1) Each required off-street loading space shall be designed with appropriate means of vehicular access to a street or alley in a manner which will least interfere with traffic movement.
  - b) Loading Requirements. All uses except in the residential & lodging, open space, and civic & institutional categories shall provide off-street loading spaces in compliance with Table 6.4
    - (1) Required Loading Facilities.

Gross Floor Area (sq.-ft.)	Loading Spaces Required
Under 5,000	0
5,000 to 20,000	1
20,001 to 40,000	2
40,001 to 70,000	3
70,001 to 100,000	4
100,001 above	4 + 1 for each 100,000 over 100,001

Table 6.4 (1). Required Loading Facilities

- c) Computation. Loading facilities shall be calculated using the following information.
  - i) Gross Square Footage. Unless otherwise expressly stated, loading standards for non-residential buildings shall be computed on the basis of gross floor area in square feet.
  - ii) Fractions. When computation of the number of required off-street loading spaces results in a fractional number, any result of 0.5 or more shall be rounded up to the next consecutive whole number. Any fractional result of less than 0.5 may be rounded down to the previous consecutive whole number.
  - iii) Shared or Central Loading Facilities. Shared or central loading facilities are permitted if the following conditions are met.
    - (1) Each zoning lot served shall have direct access to the central loading area without crossing streets or alleys.
    - (2) Total off-street loading spaces provided shall meet the minimum requirements herein specified, based on the sum of the several types of uses served unless reviewed and approved by the Zoning Administrator through site plan review.
    - (3) No zoning lot served shall be more than 500 feet from the central loading area.
- d) Dimensions. A standard off-street loading space shall be a minimum of ten feet in width by

26 feet in length and an oversized loading space shall be a minimum of 12 feet in width and 40 feet in length, exclusive of aisle and maneuvering space and shall have a minimum vertical clearance of 15 feet.

- 5) Site Access and Driveways.
  - a) General Requirements. These standards shall supplement the provisions for access provided in 5.0 Building Type Standards. Each driveway providing site access from a street, alley, or other vehicular right-of-way shall be designed, constructed, and permanently maintained as follows.
  - b) Quantity of Driveways. The number of driveways permitted for each Building Type is located in 10-13-3 Building Type Standards.
  - c) Dimensions and Design.
    - i) Driveway Width at Property Line. All driveways shall have a maximum width of 24 feet as measured at the property line (Figure 6.5 (I) Driveway Width) except as stated below.
      - (I) Maximum width for one-way driveways is 12 feet at the property line.
      - ii) Maximum Width. When a garage door is located on the front facade of the structure, the driveway shall be no more than two feet wider than the garage door at any location.
      - iii) Shared Access. When possible, adjacent developments should share points of access to minimize impervious surface.
        - (I) Shared Driveway Width. When access is shared between three or more non-residential users, a dedicated turn lane may be constructed, allowing an increase in the maximum driveway width from 24 feet to 32 feet provided that a traffic impact study states its necessity.
      - iv) Sidewalk Pavement. Sidewalk pavement elevation, width, design, scoring, material, and design shall extend continuously over the driveway pavement with the intent of prioritizing the sidewalk path over the driveway. If the driveway and sidewalk are of the same material, the sidewalk path shall be scored or designated linearly over the driveway.
    - d) Location. Specific location information can be found in 10-13-3 Building Type Standards. Refer to Figure 6.5 (I)
      - i) Driveways accessing rear yard garages are permitted within the side or rear yard setback, no closer than two feet from a side or rear property line, unless the driveway is shared.
      - ii) Driveways shall not be within the 40' sight triangle of an intersection of two streets (corner), unless otherwise stated in 10-13-3 Building Type Standards.

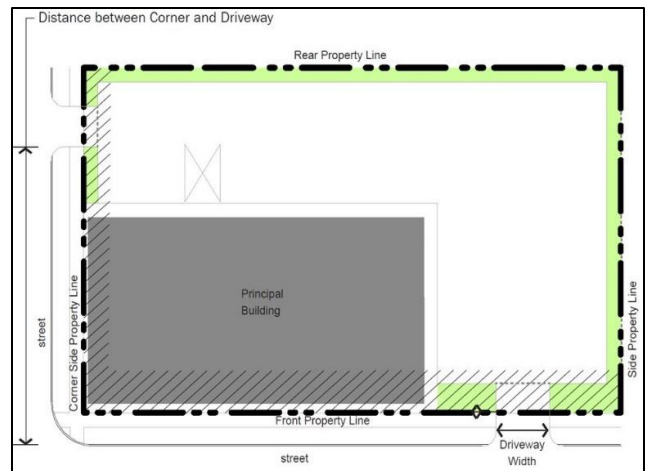


Figure 6.5 (I). Driveway Width and Location

10-17-1 Table of Uses:

TABLE 17-2 - TABLE OF ALLOWED USES - NON-RESIDENTIAL ZONING DISTRICTS

P = Permitted Use; C = Conditional Use; T = Temporary Use; X = Use Prohibited in the Zoning District (Zone)  
 A Use that is not identified in the Table of Uses is hereby determined to be a Prohibited Use within Roy City.

CC = Community Commercial

~~RC = Regional Commercial~~

LM = Light Manufacturing

M = Manufacturing

BP = Business Park

R = Recreational

**MU = Mixed Use (see Chapter of this Title)**

USE	CC	<del>RC</del>	LM	M	BP	R
<u>Accessory Building.</u> A building customarily incidental and clearly subordinate to the existing primary building and located on the same lot as the primary building, and meeting all requirements of the International Building Code, Zoning Ordinance and Subdivision Ordinance, as adopted by the City.	P	<del>P</del>	P	P	P	P
<u>Accessory Caretaker Dwelling Unit.</u> An attached or detached dwelling unit for an employee or owner and incidental and clearly subordinate (NO MORE THAN 40%) to an existing primary building or use and located on the same lot as the primary building or use.	X	<del>P</del>	P	P	P	P
<u>Accessory Use.</u> A use clearly incidental and subordinate to the existing primary use and customarily found in connection with the primary use and located on the same lot or in the same building as the primary use.	P	<del>P</del>	P	P	P	P
<u>Adult Arcade.</u> Any place to which the public is permitted or invited wherein coin operated or slug operated or electronically, electrically, or mechanically controlled still or motion picture machines, projectors, or other image producing devices are regularly maintained to show images to five (5) or fewer persons per machine at any one time, and where the images so displayed are distinguished or characterized by their emphasis upon matter exhibiting or describing specified sexual activities or specified anatomical areas. An Adult Arcade shall be conducted in compliance with all requirements for the operation of sexually oriented businesses, as provided by Title 3-7 et. seq. Roy City Municipal Code, as applicable.	X	<del>X</del>	X	P	X	X
<u>Adult Bookstore, Adult Novelty Store, Adult Video Store.</u> A commercial establishment which has significant or substantial portion of its stock in trade or derives a significant or substantial portion of its revenues or devotes a significant or substantial portion of its interior business or advertising, or maintains a substantial section of its sales or display space to the sale or rental, for any form of consideration, of any one or more of the following: A. Books, magazines, periodicals or other printed matter, or photographs, films, motion pictures, video cassettes, compact discs, slides, or other visual representations which are characterized by their emphasis upon the exhibition or description of specified sexual activities or specified anatomical areas; B. Instruments, devices or paraphernalia which are designed for use or marketed primarily for stimulation of human genital organs or for sadomasochistic use or abuse of themselves or others. Adult Bookstores, Adult Novelty Stores, and Adult Video Stores shall be conducted in compliance with all requirements for the operation of sexually oriented businesses, as provided by Title 3-7 et. seq. Roy City Municipal Code, as applicable.	X	<del>X</del>	X	P	X	X
<u>Adult Cabaret.</u> A nightclub, bar, juice bar, restaurant bottle club, or similar commercial establishment, whether or not alcoholic beverages are served, which regularly features: A. Persons who appear seminude; B. Live performances which are characterized by the exposure of specified anatomical areas or specified sexual activities; or C. Films, motion pictures, videocassettes, slides or other photographic reproductions which are characterized by their emphasis upon the exhibition or description of specified sexual activities or specified anatomical areas. An Adult Cabaret shall be conducted in compliance with all requirements for the operation of sexually oriented businesses, as provided by Title 3-7 et. seq. Roy City Municipal Code, as applicable.	X	<del>X</del>	X	P	X	X

USE	CC	RC	LM	M	BP	R
<u>Adult Motel.</u> A motel, hotel or similar commercial establishment which: A. Offers public accommodations, for any form of consideration, and which regularly provides patrons with closed circuit television transmissions, films, motion pictures, video cassettes, slides, or other photographic reproductions which are characterized by their emphasis upon the exhibition or description of specified sexual activities or specified anatomical areas and which regularly advertises the availability of such material by means of a sign visible from the public right of way, or by means of any off premises advertising, including, but not limited to, newspapers, magazines, pamphlets or leaflets, radio or television; and B. Offers a sleeping room for rent for a period of time less than ten (10) hours. An Adult Motel shall be conducted in compliance with all requirements for the operation of sexually oriented businesses, as provided by Title 3-7 et. seq. Roy City Municipal Code, as applicable.	X	X	X	P	X	X
<u>Adult Motion Picture Theater.</u> A commercial establishment where films, motion pictures, videocassettes, slides or similar photographic reproductions which are characterized by their emphasis upon the exhibition or description of specified sexual activities or specified anatomical areas are regularly shown for any form of consideration. An Adult Motion Picture Theater shall be conducted in compliance with all requirements for the operation of sexually oriented businesses, as provided by Title 3-7 et. seq. Roy City Municipal Code, as applicable.	X	X	X	P	X	X
<u>Adult Theater.</u> Theater, concert hall, auditorium or similar commercial establishment which, for any form of consideration, regularly features persons who appear in state of semi nudity or live performances which are characterized by their emphasis upon the exposure of specified anatomical areas or specified sexual activities. An Adult Theater shall be conducted in compliance with all requirements for the operation of sexually oriented businesses, as provided by Title 3-7 et. seq. Roy City Municipal Code, as applicable.	X	X	X	P	X	X
<u>Adult - Seminude Model Studio.</u> Any place where a person, who regularly appears in a state of semi nudity, is provided for money or any form of consideration to be observed, sketched, drawn, painted, sculptured, photographed, or similarly depicted by other persons, except as may be allowed by Title 3-7 et. seq. Roy City Municipal Code.	X	X	X	P	X	X
<u>Animal Hospital (Veterinary Clinic), With Holding Facilities.</u> A facility for the diagnosis, treatment, hospitalization, and boarding of animals that does not include outdoor holding facilities But which may include indoor holding and boarding facilities.	P	P	P	P	X	X
<u>Assisted Living Facility.</u> Commonly referred to as "residential care", "assistive living" or "personal care community". A residential facility with common area in which services are available to residents who may still live independently within the facility itself. Help is generally offered in day-to-day tasks such as taking medicine, bathing, dressing, using the bathroom, getting to appointments, or preparing meals. A variety of services and amenities such as dining room service, group outings, and recreational and social programs are usually available. This definition shall not include any facility which meets the definition of a "Residential Facility for Elderly Persons" or "Residential Facility for Persons with a Disability".	P	P	X	X	P	X
<u>Bank, Credit Union or other Financial Institution.</u> A financial company or corporation providing the extension of credit, and the custody, loan or exchange of money.	P	P	X	X	P	X
<u>Billboard.</u> A freestanding sign designed or intended to direct attention to a business, product, or service that is not provided, sold, offered, or existing on the property where the sign is located.	X	X	X	X	X	X
<u>Cannabis Production Establishments.</u> Cannabis Production Establishments may not be located closer than six hundred (600) feet to any residential zone and one thousand (1,000) feet from any community location. Shall be conducted within an enclosed building and be designed to filter inside air exchanges the outside through air filter systems that remove odors before exiting the building.	N	N	N	P	N	N
<u>Car Wash.</u> A structure with machine- or hand-operated facilities used principally for the cleaning, washing, polishing, or waxing of motor vehicles. A facility of this type may be able to accommodate more than one vehicle at the same time.	X	X	X	P	X	X
<u>Church.</u> A facility principally used as a location for people to gather for religious worship or other religious activities. One (1) accessory dwelling unit for the housing of the pastor or similar church leader of the church and their family shall be permitted.	P	P	X	X	P	X

USE	CC	RC	LM	M	BP	R
<p><u>Commercial Day Care/Preschool Center.</u> A facility, operated by a person qualified and licensed by the State of Utah, which provides children with day care and/or preschool instruction as a commercial business and complying with all applicable State standards and licensing and having regularly scheduled, ongoing enrollment for direct or indirect compensation that provides child care for less than twenty four (24) hours per day. Commercial Day Care/Preschool Center excludes the following:</p> <p>(a) Kindergartens or nursery schools or other daytime programs operated by public or private elementary or secondary schools or institutions of higher learning;</p> <p>(b) Facilities operated in connection with a fitness center, shopping center or other activity where children are cared for temporarily while parents or custodians of the children are occupied on the premises or are in the immediate vicinity and readily available; or</p> <p>(c) Special activities or programs, including athletics, crafts instruction and similar activities, conducted on a periodic basis by civic, charitable, private, or governmental organizations;</p> <p>(d) or clearly identified as an Accessory Use.</p>	P	P	P	X	P	X
<p><u>Commercial Plant Nursery.</u> A use wholly, or partially, contained within one or more greenhouses where trees, shrubs, flowers, or vegetable plants are grown and sold to retail customers. Commercial Plant Nursery does not include wholesale nurseries or greenhouses.</p>	P	P	P	P	X	X
<p><u>Commercial Recreation (Indoor).</u> Any use, either public or private, providing amusement, pleasure, or sport, which is operated entirely within an enclosed building, including but not limited to live theater, and movie houses, indoor tennis, bowling, and skating, baseball batting cages, paintball, horse riding or similar activities. This use may include associated eating and drinking areas, retail sales areas and staff offices.</p>	P	P	P	P	X	P
<p><u>Commercial Recreation (Outdoor).</u> An area or facility that offers entertainment or recreation outside. This use is limited to a golf driving range, baseball batting cages, riding arena, tennis facility, miniature golf, and swimming pool, and may include, as accessory uses, associated eating and drinking areas, retail sales areas and staff offices. This use specifically excludes shooting range, go-cart, motor vehicle and/or motorbike tracks, or similar activities that may create noise, dust, or other nuisances to adjoining and surrounding uses.</p>	P	P	P	X	X	P
<p><u>Construction Sales and Service.</u> An establishment engaged in the retail or wholesale sale of materials and services used in the construction of buildings or other structures, as well as the outdoor storage of construction equipment or materials on lot or parcel other than a construction site. Typical uses include lumberyards, home improvement centers, lawn and garden supply stores, construction equipment sales and rental, electrical, plumbing, air conditioning and heating supply stores, and</p>	P	P	P	P	X	X
<p><u>Contractor's Office/Contractor's Storage Yard.</u> A facility providing building construction and maintenance, including carpentry, plumbing, roofing, electrical, air conditioning and heating, within a totally enclosed building, and which may include the open storage of any building materials, equipment, or vehicles.</p>	X	X	P	P	X	X
<p><u>Convalescent Facility.</u> A facility, or portion thereof, in which people are cared for during the time of recovery from an operation, injury, or physical illness. The facility may also contain areas for physical therapy. This definition shall not include any building or structure which meets the definition of a "group home for the elderly", "group home for persons with a disability", or "detention or rehabilitation facility".</p>	P	X	X	X	P	X
<p><u>Convenience Store.</u> A retail establishment selling consumer products including prepackaged food and drink. A convenience store may also provide associated retail sale of gasoline and other petroleum products.</p>	P	P	P	P	P	X
<p><u>Day Care Center (Adult).</u> Any building or structure furnishing care, supervision, and guidance for three (3) or more adults unaccompanied by guardians for periods of less than twenty four (24) hours per day.</p>	P	P	X	X	X	X
<p><u>Drive through/Drive up Facility.</u> A facility where goods and services are provided to customers within a vehicle. Must be associated with a "Permitted" or "Conditional" use within this table.</p>	P	P	P	P	P	X
<p><u>Educational Facility.</u> Privately or publicly owned buildings and uses for educational or research activities that has a curriculum for technical or vocational training, kindergarten, elementary, secondary or higher education, and including Charter Schools. Public schools, colleges or universities qualified by the State of Utah Board of Regents or State of Utah Board of Education to provide academic instruction.</p>	P	P	X	X	P	X

USE	CC	RC	LM	M	BP	R
<u>Golf Course</u> . A an area used for the purposes of playing golf, but which may include associated restaurant, commercial retail sales areas, staff offices and course maintenance facilities.	X	X	X	X	X	C
<u>Hospital</u> . A facility licensed by the State of Utah Department of Health providing clinical, temporary or emergency service of a medical, obstetrical or surgical nature to human patients.	P	P	X	X	P	X
<u>Hotel</u> . A building offering temporary lodging accommodations, or overnight accommodations for guests, with access provided through a common entrance, lobby or hallway to four (4) or more guestrooms, and which may include additional services, such as restaurants, meeting rooms, entertainment, and recreational facilities.	P	P	X	X	P	X
<u>Kennel</u> . A commercial establishment having three (3) or more dogs for boarding, breeding, buying, letting for hire, training for profit, or selling. (Ord No. 16-10, 7-5-2016)	X	X	X	C	X	X
<u>Laundry, Self Serve or Dry Cleaning</u> . An establishment providing home-type washing, drying, and/or ironing machines, household laundry and dry cleaning services, classified as low hazard in applicable codes, with customer drop-off and pick-up.	P	P	X	X	X	X
<u>Liquor Store – State Owned</u> . An establishment owned and operated by the State of Utah and primarily engaged in the sale of alcoholic beverages.	X	P	X	X	X	X
<u>Manufacturing, Major</u> . Includes the processing and fabrication of finished products, predominantly from previously prepared materials, and includes the assembly, fabrication or processing of goods and materials using processes that do not create noise, smoke, fumes, odors, glare, or health or safety hazards outside of the building and where such assembly, fabrication or processing takes place entirely within a building. Excludes gravel pit, quarry, extractive industries.	X	X	X	P	X	X
<u>Manufacturing, Minor</u> . Includes the processing and fabrication of finished products that do not create noise, smoke, fumes, odors, glare, or health or safety hazards outside of the building and where such assembly, fabrication or processing takes place entirely within a building with a maximum building size of 15,000 square feet.	X	X	P	P	P	X
<u>Major Facility of a Public Utility</u> . Any electric transmission lines (greater than 115,000 volts), power plants or substations of electric utilities; gas gathering facility, regulator stations, transmission and gathering pipelines and storage areas of utilities providing natural gas or petroleum derivatives; and their appurtenant facilities, water treatment plant, sewage treatment plant.	X	X	C	C	X	X
<u>Medical and Dental Clinic</u> . An organization of doctors, dentists, or other health care professional providing physical or mental health service and medical or surgical care of the sick or injured but which does not include in-patient or overnight accommodations.	P	P	X	X	P	X
<u>Medical Cannabis Pharmacy</u> . Medical Cannabis Pharmacy may not be located closer than six hundred (600) feet to any residential zone and two hundred (200) feet from any community location. Shall also meet the following:  1. Shall have one (1) entry door at the front of the building facing the street 2. Hours of operation are limited between 8 a.m. to 8 p.m.	P	P	P	P	P	N
<u>Medical or Dental Laboratory</u> . An establishment that conducts basic medical or dental research and analysis. This term does not include a facility providing any type of in-house patient services typically provided by hospitals and clinics.	P	P	P	P	P	X
<u>Minor Facility of a Public Utility</u> . A use operated exclusively by a public body or quasi-public body, such use having the purpose of serving the public health, safety or general welfare, and including streets, parks, recreational facilities, administrative and service facilities, and public utilities, and found by the Roy City Planning Commission to conform to the Roy City General Plan, or has been considered by the Roy City Planning Commission and, after receiving the advice of the Planning Commission, the Roy City Council has approved the proposed location and/or Public Use as an amendment to the Roy City General Plan. Public Uses and Utilities do not include “Major Facility of a Public Utility,” as defined herein.	C	C	C	C	C	C

USE	CC	RC	LM	M	BP	R
<p><b>Mobile Food Trucks:</b></p> <ol style="list-style-type: none"> <li>1. Location: When allowed in the use regulations applicable to a specific zoning category, mobile food trucks may be: <ol style="list-style-type: none"> <li>a. Located in a private parking lot with property owner approval for that location; or</li> </ol> </li> <li>2. Parked In Private Parking Lot: When parked in a private parking lot, a mobile food truck shall: <ol style="list-style-type: none"> <li>a. Have access to a permanent bathroom facility;</li> <li>b. Be located on an improved portion of the lot; and</li> <li>c. Be located on a lot where an occupied business is operating.</li> </ol> </li> <li>3. Conditions That Apply: Regardless of where a mobile food truck is operated or parked, the following conditions apply: <ol style="list-style-type: none"> <li>a. Site plan must be approved</li> <li>b. It shall not operate within one hundred feet (100') of the entrance door of a restaurant, OR of a property line of a church unless invited by the church.</li> <li>c. All signs are limited to those that are permanent and physically attached to the vehicle.</li> <li>d. The operator shall provide trash and recycling containers which shall be removed from site when truck leaves site.</li> <li>e. The use shall be placed so as not to disrupt the vehicle and allow safe pedestrian traffic flow into or out of a site</li> <li>f. Shall not operate as a drive-through.</li> <li>g. Vehicles are to be maintained in a neat and professional manner.</li> <li>h. Hours of operation are between seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M. with no overnight parking except at commissary location.</li> <li>i. Vehicles are not allowed to idle.</li> <li>j. Shall not cause noise, light, or glare which adversely impacts surrounding uses. Flashing, scintillating, blinking, or traveling lights shall not be permitted;</li> <li>k. Shall comply with all applicable Utah State and Weber/Morgan Health Department requirements;</li> <li>l. Shall comply with all State, County, and City retail sales tax regulations;</li> <li>m. Must comply with all Roy City Fire Department requirements, including but limited to an annual inspection.</li> <li>n. Shall only operate when parked on a hard surface.</li> </ol> </li> </ol>	P	P	P	P	P	P
<p><b>Mortuary, Funeral Home.</b> An establishment in which the dead are prepared for burial or cremation. The facility may include a chapel and other rooms to conduct funeral services.</p>	P	P	X	X	X	X
<p><b>Motel.</b> A building or group of buildings containing four (4) or more guest rooms, some or all of which may have a separate entrance leading directly from the outside of the building with a garage or parking space located on the lot and designed, used or intended wholly or in part for the accommodation of persons usually traveling by private automobile or motor coach and which may include additional services, such as restaurants, meeting rooms, entertainment and recreational facilities.</p>	P	P	X	X	P	X
<p><b>Nightclub.</b> A place of entertainment open at night usually serving food and liquor, having a floor show, and providing music and space for dancing. A Nightclub that serves liquor shall maintain a valid Class E License and shall be conducted in compliance with all requirements for the issuance of such license, as provided by Title 3-2 et. seq. Roy City Municipal Code, as applicable.</p>	X	P	X	X	X	X
<p><b>Nursing Home.</b> An intermediate care/nursing facility or a skilled nursing facility, licensed by the state of Utah, for the care of individuals who, due to illness, advanced age, disability, or impairment, require assistance and/or supervision on a twenty-four (24) hour per day basis. Such facility does not include an adult daycare facility or adult daycare provided in conjunction with a residential facility for elderly persons or a residential facility for persons with a disability.</p>	P	P	X	X	P	X
<p><b>Office.</b> A building, room, or other space where executive, management, administrative or professional services are provided, except medical services, and excluding the sale of merchandise, except as incidental to a principal use. Typical uses include real estate brokers, insurance agencies, credit reporting agencies, property management firms, investment firms, employment agencies, travel agencies, advertising agencies, secretarial services, data processing, telephone answering, telephone marketing, paging and beeper services and facsimile transmission services; post offices and express mail offices, excluding major mail processing and distribution; offices for utility bill collection; professional or consulting services in the fields of law, architecture, design, engineering, accounting and similar professions; interior decorating consulting services; and business offices of private companies, utility companies, public agencies, trade associations, unions and nonprofit organizations.</p>	P	P	X	X	P	X

USE	CC	RC	LM	M	BP	R
<u>Pay-day Lending</u> : Lenders engaging primarily in the business of small, short term loans provided against a prearranged line of credit, post-dated check, deposits, vehicle titles or other instruments. The number of such facilities licensed within the City limits may not exceed one (1) per five thousand (5,000) or portion thereof, of the most recent United States Census Bureau estimated population of Roy City. (Ord. 1018, 8-4-2009)	X	P	X	X	X	X
<u>Pawnshop</u> . Any person or establishment engaged in any of the following (a) Lending money on deposit of personal property; (b) Dealing in the purchase, exchange, or possession of personal property on condition of selling the same back again to the pledgor or depositor; (c) Lending or advancing of money on personal property by taking chattel mortgage security thereon and taking or receiving possession of such personal property; or (d) Selling unredeemed pledged personal property together with such new merchandise as will facilitate the sale of such property. The number of such facilities licensed within the city limits may not exceed one (1) per ten thousand (10,000), or portion thereof, of the most recent United States Census Bureau estimated population of Roy City. Such facilities shall not be located closer than six hundred (600) feet to any residential zone or to another Pawn Shop. (Ord. No 1071; 11/18/14)	X	P	X	X	X	X
<u>Personal Care Service</u> . An establishment primarily engaged in the provision of frequently or recurrently needed services of a personal nature. Typical uses include beauty salons (including permanent or semi-permanent make-up/cosmetics) and barbershops, custom tailoring and seamstress shops, electrolysis studios, portrait studios, shoe repair shops, tailors, tanning and nail salons, and weight loss centers. The term excludes "Tattoo Establishment."	P	P	X	X	X	X
<u>Personal Instruction Service</u> . An establishment primarily engaged in the provision of informational, instructional, personal improvement and similar services of a nonprofessional nature. Typical uses include art and music schools, driving and computer instruction, gymnastic and dance studios, handicraft or hobby instruction, health and fitness studios, massage therapist instruction, martial arts training, and swimming clubs.	P	P	X	X	P	X
<u>Pet Grooming</u> . A commercial establishment for the grooming of pets. No boarding, breeding, buying, letting for hire, training or selling. (Ord No. 16-10, 7-5-2016)	P	P	P	X	X	X
<u>Private Club</u> . Any nonprofit corporation operating as a social club, recreational, fraternal or athletic association, or kindred association organized primarily for the benefit of its stockholders or members. A Private Club that serves liquor shall maintain a valid Class E License and shall be conducted in compliance with all requirements for the issuance of such license, as provided by Title 3-2 et. seq. Roy City Municipal Code, as applicable.	X	P	X	X	X	X
<u>Public Park-And-Ride Lots</u> . Parking lots associated with a transit station, where people drive from their homes, park, and transfer to transit lines.	C	C	C	C	C	C
<u>Public Commuter and Light Rail Facilities and Station</u> . A rail transit system that covers long distances, usually with less frequent station spacing and train times than light rail that runs on a separate right-of-way from cars, and often sharing an existing freight corridor. Light rail transit systems can run along city streets or in a separate right-of-way. Station areas are located along the transit lines to link park-and-ride lots with the transit system.	C	C	C	C	C	C
<u>Reception Hall, Reception Center</u> . A facility for the holding of events including but not limited to weddings, wedding receptions, community meetings, and group gatherings.	P	P	X	X	X	X
<u>Recycling Collection Area</u> . An area for the acceptance and temporary storage of recyclable materials to be transferred to a recycling processing facility. Recycling Collection area involve no more than 3 collection containers up to 40 cubic yards in total size. Collection area located in parking lots may not occupy required parking spaces. A collection area must be arranged to not impede traffic flow. The operator of the collection enter shall remove products stored at the site at least once a week. The operator of the collection area shall keep the collection center in proper repair and the exterior must have a neat and clean appearance.	P	P	P	P	P	X
<u>Restaurant</u> . A building or facility for the preparation, retail sale, and on- site consumption of food and beverages (including Beer or Alcohol), sells food and beverages over a counter, packages its food in wrappers, boxes or cartons regardless if the food is consumed on or off the restaurant premises; and may provide a drive through/drive up facility.	P	P	P	P	P	P

USE	CC	RC	LM	M	BP	R
<u>Retail Sales and Services.</u> Establishments engaged in the retail sale of goods and services, except those uses as otherwise clearly defined herein.	P	P	X	X	X	X
<u>Salvage yard.</u> The use of any lot, portion of a lot, or land for the storage, keeping or abandonment of junk, including scrap metals or other scrap materials, or for the dismantling, demolition or abandonment of automobiles or other vehicles or machinery and/or the storage and sale of dismantled or damaged vehicles or their parts.	X	X	X	X	X	X
<u>Seasonal Use.</u> A Seasonal Use shall not exceed ninety (90) days. Such uses include fireworks stands, fruit or vegetable stands, beverage or snow cone vendors, and Christmas tree lots. This use and requirements to establish this use by Chapter 16, herein, shall become effective on January 01, 2006. All other seasonal uses not listed above are prohibited.	T	T	X	X	X	X
<u>Tattoo &amp; Body Art.</u> Establishments engaged primarily in the practice of physical body adornment or modification, including but not limited to body piercing, tattooing, branding or scarification. All Tattoo & Body Art establishments shall obtain and maintain in good standing a proper license from the Weber-Morgan Health Department. Tattoo & Body Art establishments may not be located closer than six hundred (600) feet to any other such establishment as defined, or to any church, school or other community gathering place. The number of such facilities licensed within the city limits may not exceed one per every ten thousand (10,000) or portion thereof of the most recent United States Census Bureau estimated population of Roy City. The hours of operation are limited to between 10:00 a.m. and 10:00 p.m. No minors shall be allowed on the premises without an accompanying adult guardian. (Ord. 1060, 11-19-2013)	P	P	P	P	X	X
<u>Tavern.</u> An establishment licensed by the Utah Alcoholic Beverage Control Commission for serving beer by the drink to the general public.	X	P	P	P	X	X
<u>Telecommunications Site/Facility.</u> An unmanned structure consisting of antennas, antenna support structures, or other equipment used to provide personal wireless services as set forth in Section 704 of the Telecommunications Act of 1996, as amended. This use is not required to be located on a building lot or to comply with the minimum lot size requirement for the district in which it is located but is required to meet the locational requirements, as established for such uses, as provided by this Ordinance. Telecommunications Site/Facility does not include Amateur Radio equipment that complies with the ruling of the Federal Communications Commission in "Amateur Radio Preemption, 101 FCC 2nd 952 (1985)" or amateur radio service adopted under 47 C.F.R. Part97. A facility may be located on any property owned by the City.	C	C	C	C	C	C
<u>Temporary Use.</u> A special event or use established for a maximum period of 45 days, such event, or use being discontinued after the expiration of 45 days, and conducted in compliance with all the requirements of this Ordinance. Such use shall be permitted only after the issuance of a temporary use permit as established by the provisions of this Ordinance.	T	T	T	T	T	T
<u>Theater, Indoor Picture.</u> A building or part of a building devoted to the showing of moving pictures on a paid admission basis.	P	P	X	X	P	X
<u>Tobacco Oriented Retail.</u> A commercial establishment with less than 10,000 square feet of total sales area, where the sale and/or display of tobacco and/or tobacco related products accounts for greater than 10% of the sales floor and display areas, or where the sale of tobacco and/or tobacco related products accounts for more than 30% of gross sales receipts, or any commercial establishment of any size declaring itself through name or advertising to be oriented specifically to the selling of tobacco and/or tobacco related products. Tobacco Oriented Retail uses may not be located within 600 feet of one another as measured at the closest property lines. (Ord. 1032, 9-7-2010)	P	P	X	X	X	X
<u>Trailer Camp Or Trailer Court.</u> Any area or tract of land used or designed to accommodate two (2) or more travel trailers, recreational vehicles, motor homes or camping parties.	X	X	X	X	X	P
<u>Vehicle and Equipment Rental or Sale, New or Used, Major.</u> An establishment engaged in the retail or wholesale sale or rental, from the premises, of equipment or motorized vehicles, except motorcycles, automobiles, and light trucks, along with incidental service or maintenance. Typical uses include new and used heavy truck sales and rental, boat sales, recreational vehicles, construction equipment rental yards, moving truck and trailer rental, and farm equipment and machinery sales and rental. [also see 10-11-8]	X	P	P	P	X	X

USE	CC	RC	LM	M	BP	R
<u>Vehicle and Equipment Rental or Sale, New or Used, Minor.</u> An establishment engaged in the retail sale or rental, from the premises, of new or used motorcycles, automobiles, and/or light trucks, with a Manufacturer's Gross Vehicle Weight Rating not to exceed 14,000 pounds, with incidental service or maintenance. Typical uses include dealers of motorcycles, automobiles, and light trucks. [also see 10-11-8]	P	P	P	P	X	X
<u>Vehicle and Equipment Repair, Major.</u> An establishment primarily engaged in the major repair or painting of motor vehicles or heavy equipment, including auto body repairs, installation of major accessories and transmission and engine rebuilding services. Typical uses include major automobile repair garages, farm equipment repair, paint, and body shops.	X	P	P	P	X	X
<u>Vehicle and Equipment Repair, Minor.</u> An establishment providing motor vehicle repair or maintenance services within completely enclosed buildings, but not including paint and body shops or other general vehicle repair services. Typical uses include businesses engaged in the following activities: electronic tune-ups, brake repairs (including drum turning), air conditioning repairs, generator and starter repairs, tire repairs, front-end alignments, battery recharging, lubrication, and sales, repair and installation of minor parts and accessories such as tires, batteries, windshield wipers, hoses, windows, etc.	P	P	P	P	X	X
<u>Warehouse, Self-Service Storage.</u> An enclosed storage facility of a commercial nature containing independent, fully enclosed bays, which are leased to persons exclusively for storage of their household goods or personal property. (Ord. 1063, 4-1-2014)	X	X	P	P	X	X
<u>Wholesale and Warehousing, Major.</u> An establishment that is primarily engaged in the storage and sale of goods to other firms for resale, as well as activities involving significant movement and storage of products or equipment. Uses include major mail distribution centers, frozen food lockers, moving and storage firms, and warehousing and storage facilities.	X	X	X	P	X	X
<u>Wholesale and Warehousing, Minor.</u> An establishment that is engaged in the small scale storage and sale of goods to other businesses for resale, excluding self-storage warehouses, major distribution centers, motor freight terminals, moving and storage firms and similar high volume, high turnover facilities. Limited wholesale and warehouse area will generally be less than 30,000 square feet in area and operate during conventional business hours.	X	X	P	P	P	X

10-19-8 Required Off-Street Parking:

The number of off street parking spaces provided shall comply with Table 19-1, Table of Off-Street Parking Requirements.

Table 19-1 - Off-Street Parking Requirements

Use	Minimum Off-Street Parking Requirements
Downtown “DT-E”, DT-W” and “DT-G”	Refer to 13-6 of this Title

## 10-31-1 Purpose and Conflicts:

- Animal.** All non-human members of the animal kingdom, including domestic and livestock species.
- Block.** The aggregate of lots, passages, lanes, and alleys bounded on all sides by streets.
- Build-to-Zone.** An area in which the front or corner side facade of a building shall be placed; it may or may not be located directly adjacent to a property line. The zone dictates the minimum and maximum distance a structure may be placed from a property line. Refer to Figure 10.5 (2) Build-to Zone vs. Setback Line.
- Building Type.** A structure defined by the combination of configuration, form, and function. Refer to 10-13-2 Building Types for more information and the list of permitted Building Types.
- Courtyard.** An outdoor area enclosed by a building on at least two sides and is open to the sky.
- Coverage, Building.** The percentage of a lot developed with a principal or accessory structure.
- Coverage, Impervious Site.** The percentage of a lot developed with principal or accessory structures and impervious surfaces, such as driveways, sidewalks, and patios.
- Critical Root Zone.** Also referred to as drip line. The area of soil and roots within the radius beneath the tree's canopy, within the dripline, or within a circular area of soil and roots with a radius out from the trunk a distance of 1.5 feet for every inch of the tree's width (measured at 4.5 feet above the mean grade of the tree's trunk, noted as diameter breast height or DBH throughout this code).
- Eave.** The edge of a pitched roof; it typically overhangs beyond the side of a building.
- Entrance Type.** The permitted treatment types of the ground floor Facade of a Building Type. Refer to 5.9 for more information and a list of permitted Entrance Types.
- Expression Line.** An architectural feature. A decorative, three dimensional, linear element, horizontal or vertical, protruding or indented at least two inches from the exterior facade or a building typically utilized to delineate floors or stories of a building.
- Facade.** The exterior face of a building, including but not limited to the wall, windows, windowsills, doorways, and design elements such as expression lines. The front facade is any building face adjacent to the front property line.
- Gross Floor Area.** The sum of all areas of a building, including accessory storage areas or closets within sales spaces, working spaces, or living spaces and any basement floor area used for retailing activities, the production or processing of goods, or business offices. It shall not include attic space having headroom of seven feet or less and areas devoted primarily to storage, balconies, off-street parking and loading areas, enclosed porches, roof decks, roof gardens, or basement floor area other than specified above.
- Impervious Surface.** Also referred to as impervious material. Any hard surface, man-made area that does not absorb water, including building roofs, sidewalks, parking, driveways, and other paved surfaces.
- Landscape Area.** Area on a lot not dedicated to a structure, parking or loading facility, frontage buffer, side and rear buffer, or interior parking lot landscaping.
- Occupied Space.** Interior building space regularly occupied by the building users. It does not include storage areas, utility space, or parking.
- Open Space Type.** The permitted and regulated types of open spaces in this code. Refer to 10-13-3 Open Space Types for more information and a list of the permitted types.
- Open Water.** A pond, lake, reservoir, or other water feature with the water surface fully exposed.
- Pedestrianway.** A pathway designed for use by pedestrians; it can be located mid-block allowing pedestrian movement from one street to another without traveling along the block's perimeter.
- Pervious Surface.** Also referred to as pervious material. A material or surface that allows for the absorption of water into the ground or plant material, such as permeable pavers or a vegetated roof.
- Roof Type.** The detail at the top of a building that finishes a Facade, including a pitch roof with various permitted slopes and a parapet. Refer to 5.10 for more information and a list of the permitted Roof Types.
- Scale.** The relative size of a building, street, sign, or other element of the built environment.
- Semi-Pervious Surface.** Also referred to as semi-pervious material. A material that allows for at least 40% absorption of water into the ground or plant material, such as pervious pavers, permeable asphalt and concrete, or gravel.
- Solar Reflectance Index (SRI).** A measure of a constructed surface's ability to reflect solar heat, as shown by a small temperature rise. The measure utilizes a scale from 0 to 100 and is defined so that a standard black surface is 0 and a standard white surface is 100. To calculate for a given material, obtain the reflectance value and emittance value for the material; calculate the SRI according to ASTM E 1980-01 or the latest

version.

**Story, Ground.** Also referred to as ground floor. The first floor of a building that is level to or elevated above the finished grade on the front and corner facades, excluding basements or cellars.

**Story, Half.** A story either in the base of the building, partially below grade and partially above grade, or a story fully within the roof structure with transparency facing the street.

**Story, Upper.** Also referred to as upper floor. The floors located above the ground story of a building.

**Street Face.** The facade of a building that faces a public right-of-way.

**Street Frontage.** Also refer to lot frontage. The portion of a building or lot directly adjacent to a vehicular right-of-way.

**Streetwall.** The vertical plane created by building facades along a street. A continuous streetwall occurs when buildings are located in a row next to the sidewalk without vacant lots or significant setbacks.

**Swale.** A low lying, naturally planted area with gradual slopes that facilitate the transport, absorption, and/or filtration of stormwater.

**Tree Canopy.** The uppermost area of spreading branches and leaves of a tree.

**Tree Canopy Coverage.** The area of ground covered or shaded by a tree's canopy, measured in square feet.

**Use, Accessory.** A use customarily, incidental, and subordinate to the principal use or structure and located on the same lot with such principal use or structure.

**Use, Principal.** The specific, primary purpose for which a lot or building is utilized.

**Use, Special.** A use that may not be appropriate in certain locations based on the potential negative impacts associated with the use and requires approval of a Special Use Permit.

**Visible Basement.** A half story partially below grade and partially exposed above with required transparency on the street facade.

**Water Body.** A body of water, such as a river, pond, or lake that may be man-made or naturally occurring.