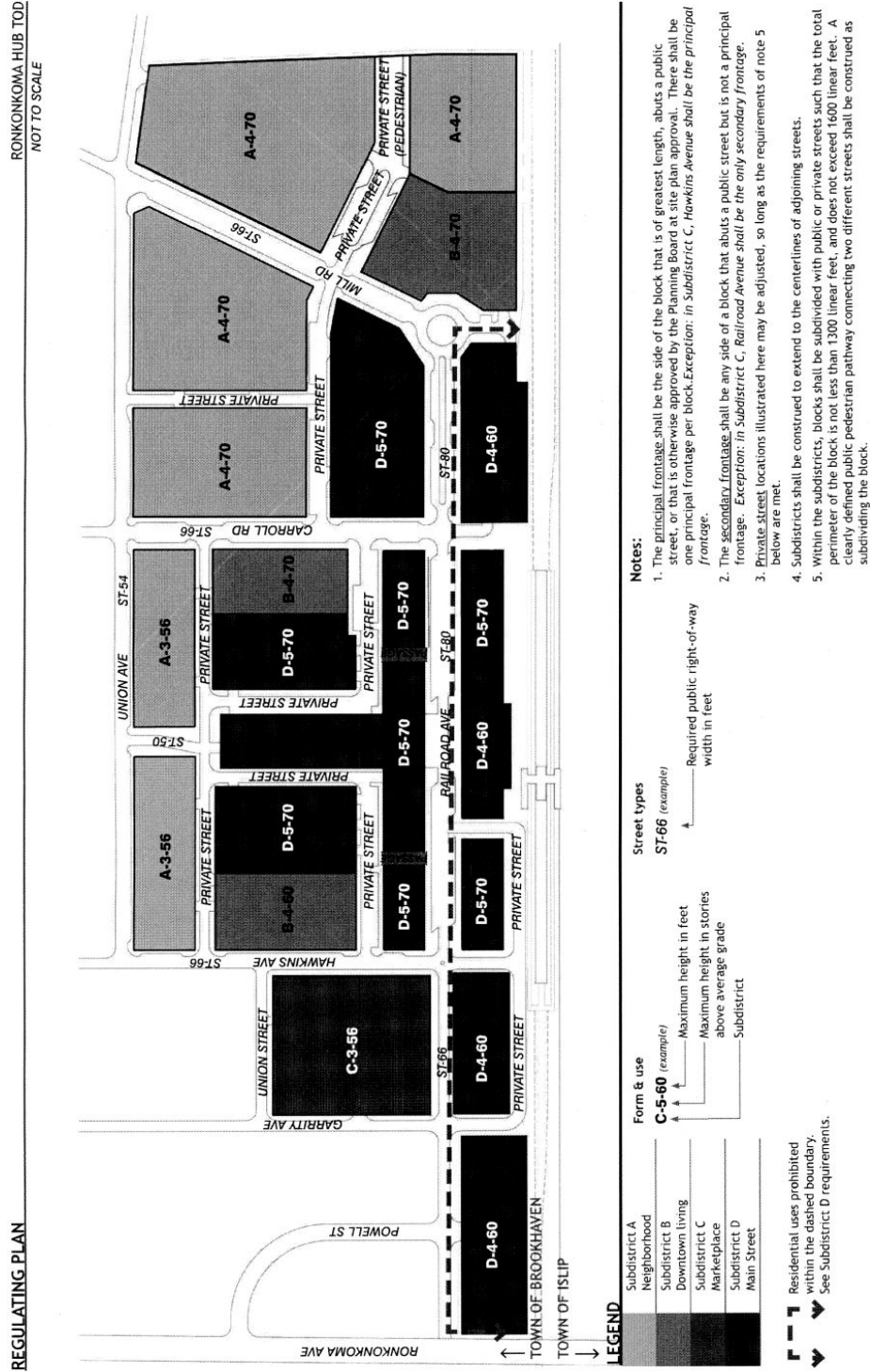


ZONING

85 Attachment 9

Town of Brookhaven
Ronkonkoma Hub Land Use and Implementation Plan



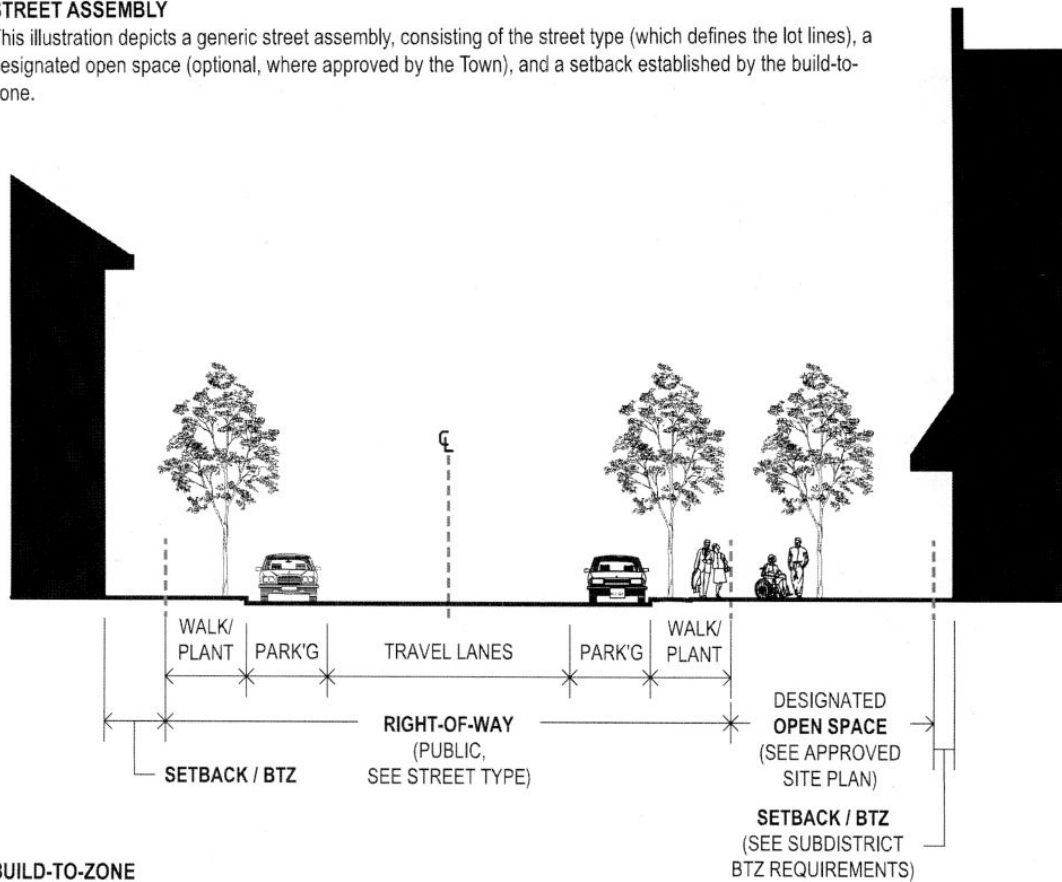
BROOKHAVEN CODE

RONKONKOMA HUB TOD

ILLUSTRATIVE DEFINITIONS

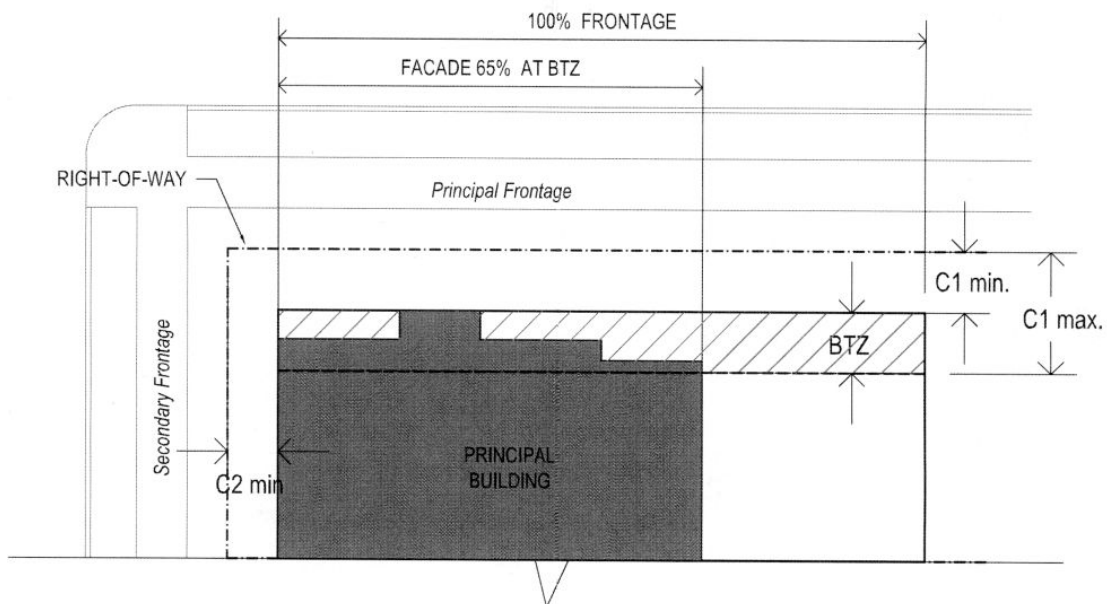
STREET ASSEMBLY

This illustration depicts a generic street assembly, consisting of the street type (which defines the lot lines), a designated open space (optional, where approved by the Town), and a setback established by the build-to-zone.



BUILD-TO-ZONE

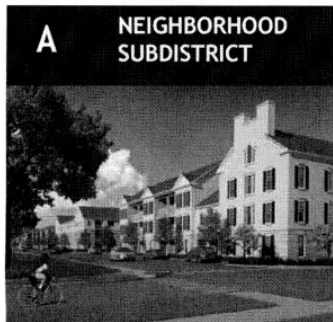
This illustration depicts a principal building which meets a 65% build-to requirement. In this illustration, the BTZ is variable between a maximum and minimum requirement, as is common in this Code.



ZONING

TABLE 1A. SUBDISTRICT A REQUIREMENTS

RONKONKOMA HUB TOD



A NEIGHBORHOOD SUBDISTRICT

The Neighborhood subdistrict is a predominantly residential area with medium to high density building types. It allows for a limited amount of ground floor commercial use and live/work units. It provides a transition between single family homes and more compact mixed use areas.

A. USE (see also Table 1)

Residential	Permitted at all levels.
Commercial	Permitted at first floor. Limited to a maximum of 15% of linear principal frontage per block.

B. BUILDING CONFIGURATION

B1. Maximum height, feet	Varies. See regulating plan.
B2. Max. height, stories	Varies. See regulating plan.
B3. Minimum height, stories	2 stories

C. ALIGNMENT- PRINCIPAL BUILDINGS

C1. Principal Frontage BTZ	2 ft. min. 12 ft. max.
C2. Secondary Frontage BTZ	2 ft. min. 12 ft. max.
C3. Setback from TOD District boundary	25 ft. min.
C4. Build-to frontage	65% min. at build-to-zone.

D. ACCESSORY BUILDINGS

Accessory buildings shall be set back from the lot line as specified herein.

D1. Principal Frontage	25 ft. min.
D2. Secondary Frontage	10 ft. min.
D3. Rear lot line setback from TOD District	25 ft. min.

E. PARKING REQUIREMENTS

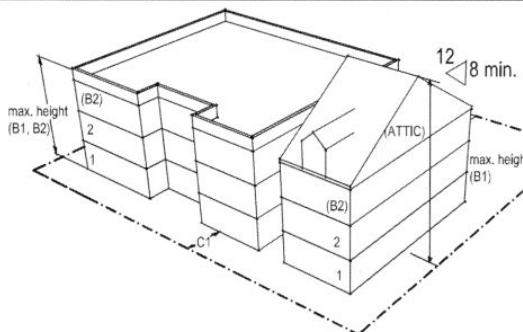
See Table 5

F. STREETSCAPE

Street trees	30' o.c. average
Furnishings	100' o.c. average

BUILDING CONFIGURATION

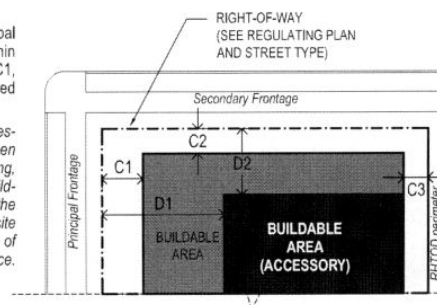
- Height (B1) is measured from average grade to top of parapet or top of ridge.
- The number of stories (B2) shall be measured from the average grade and shall exclude attics, basements, and other areas below the average grade.



ALIGNMENT

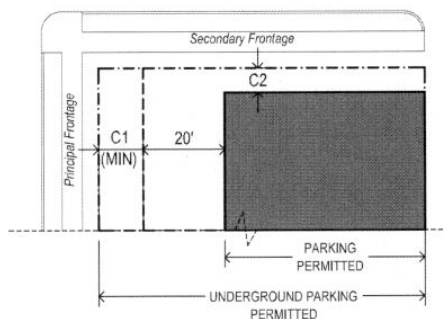
- Ground floor façades of principal buildings shall be built within the frontage build-to zones (C1, C2) to the minimum specified width (C4).

Exception: Where there is a designated outdoor space between the street lot line and a building, the build-to zone for such building shall be measured from the inner line (i.e. the line opposite and farthest from the lot line) of such designated outdoor space.



PARKING PLACEMENT

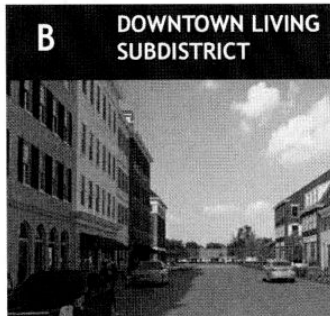
- Covered and/or surface parking spaces may only be provided where shown in the diagram at right.
- Underground parking is permitted anywhere within the buildable lot area.
- Garage entries from the Principal Frontage must serve a minimum of 8 parking spaces. Entrances to individual one and two car garages are not permitted on the Principal Frontage.
- Surface parking shall be screened from view along secondary frontages.



BROOKHAVEN CODE

RONKONKOMA HUB TOD

TABLE 1B. SUBDISTRICT B REQUIREMENTS



The Downtown Living subdistrict is predominantly a mixed-use residential area with medium to high density building types. It allows for up to 50% commercial use.

A. USE (see also Table 1)

Residential	Permitted at all levels.
Commercial	Permitted at all levels.
	First floor area for commercial uses in each block is limited to 50% of the linear principal frontage for the block; total area for commercial uses on all floors in a block is limited to 50% of the buildable square footage for the block.

B. BUILDING CONFIGURATION

B1. Maximum height, feet	Varies. See regulating plan
B2. Max. height, stories	Varies. See regulating plan
B3. Minimum height, stories	2 stories

C. ALIGNMENT - PRINCIPAL BUILDINGS

C1. Principal Frontage BTZ	2 ft. min. 6 ft. max.
C2. Secondary Frontage BTZ	2 ft. min. 6 ft. max.
C3. Setback from TOD District boundary	25 ft. min.
C4. Build-to frontage	80% min. at built-to-zone.

D. ACCESSORY BUILDINGS

(NOT USED)

E. PARKING REQUIREMENTS

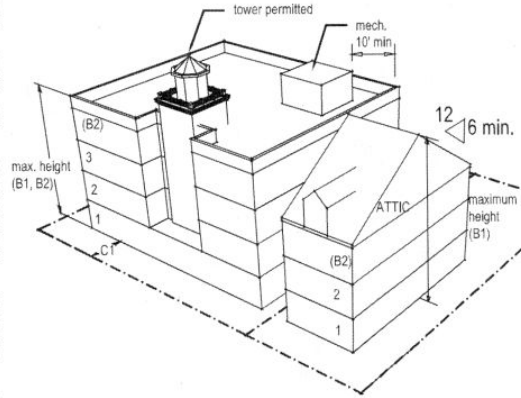
See Table 5

F. STREETScape

Street trees	30' o.c. average
Furnishings	100' o.c. average

BUILDING CONFIGURATION

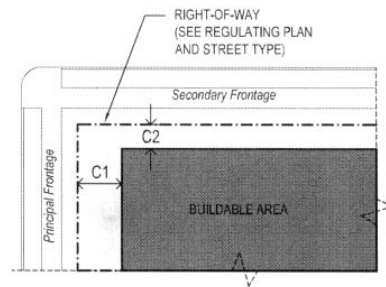
- Height (B1) is measured from average grade to top of parapet or top of ridge.
- The number of stories (B2) shall be measured from the average grade and shall exclude attics, basements, and other areas below the average grade.
- A tower, cupola, or other vertical element shall be permitted above the allowed maximum height, but shall not exceed 20% of the first floor area in size, or 20% of the first floor frontage in length.
- Mechanical / utility structures and enclosures are permitted above the allowed height, but must be set back at least 10' from the roof perimeter.
- Except at porches and canopies, or where concealed by a parapet, pitched (shingle) roofs must have an 6:12 or greater slope.
- For buildings taller than three stories, the building design shall have a distinct two- or three-part vertical composition.



ALIGNMENT

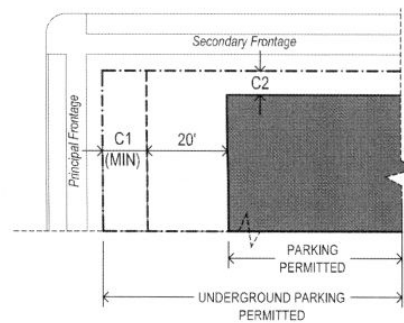
- Ground floor facades of principal buildings shall be built within the frontage build-to zones (C1, C2) to the minimum specified width (C4).

Exception: Where there is a designated outdoor space between the street lot line and a building, the build-to zone for such building shall be measured from the inner line (i.e. the line opposite and farthest from the lot line) of such designated outdoor space.



PARKING PLACEMENT

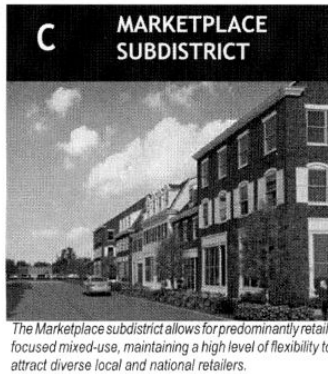
- Covered and/or surface parking spaces may only be provided where shown in the diagram at right.
- Underground parking is permitted anywhere within the buildable lot area.
- Garage entries from the Principal Frontage must serve a minimum of 8 parking spaces. Entrances to individual one- and two-car garages are not permitted on the Principal Frontage.
- Surface parking shall be screened from view along secondary frontages.



ZONING

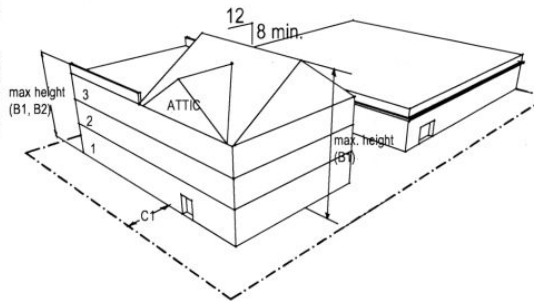
TABLE 1C. SUBDISTRICT C REQUIREMENTS

RONKONKOMA HUB TOD



BUILDING CONFIGURATION

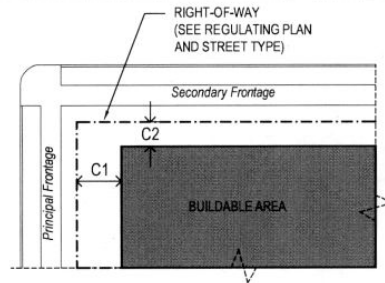
1. Height (B1) is measured from average grade to top of parapet or top of ridge.
2. The number of stories (B2) shall be measured from the average grade and shall exclude attics, basements, and other areas below the average grade.



ALIGNMENT

1. Ground floor façades of principal buildings shall be built within the frontage build-to zones (C1, C2) to the minimum specified width (C4).

Exception: Where there is a designated outdoor space between the street lot line and a building, the build-to zone for such building shall be measured from the inner line (i.e. the line opposite and farthest from the lot line) of such designated outdoor space.



A. USE (see also Table 1)

Residential	Permitted. The area for residential uses in each block is limited to 50% of the buildable square footage for the block.
Commercial	Permitted.

B. BUILDING CONFIGURATION

B1. Maximum height, feet	56
B2. Max. height, stories	3
B3. Minimum height, feet	24

C. ALIGNMENT - PRINCIPAL BUILDINGS

C1. Principal Frontage BTZ	2 ft. min. 6 ft. max.
C2. Secondary Frontage BTZ	2 ft. min. no maximum.
C3. Setback from TOD District boundary	Not Applicable.
C4. Build-to frontage	65% min. at build-to-zone.

D. ACCESSORY BUILDINGS (NOT USED)

E. PARKING REQUIREMENTS

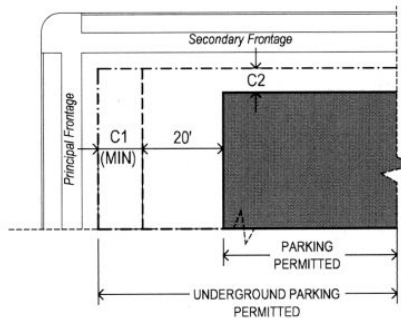
See Table 5

F. STREETScape

Street trees	50 ft o.c. average
Furnishings	50 ft o.c. average

PARKING PLACEMENT

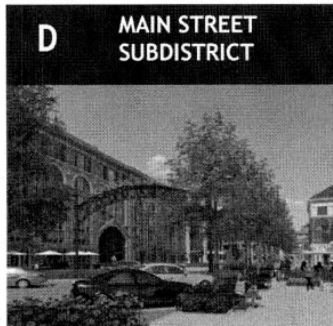
1. Covered and/or surface parking spaces may only be provided where shown in the diagram at right.
2. Underground parking is permitted anywhere within the buildable lot area.
3. Garage entries from the Principal Frontage must serve a minimum of 8 parking spaces. Entrances to individual one- and two-car garages are not permitted on the Principal Frontage.
4. Surface parking shall be screened from view along secondary frontages.



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RONKONKOMA HUB TOD

TABLE 1D. SUBDISTRICT D REQUIREMENTS



D MAIN STREET SUBDISTRICT

The Main Street subdistrict is intended as predominantly a pedestrian-oriented, mixed-use town center. Regional shopping, entertainment, and outdoor dining uses are encouraged.

A. USE (see also Table 1)

Residential	Residential units are permitted above first floor. Residential common areas are permitted at first floor. <i>Exception: Residential uses are not permitted on parcels located south of Railroad Avenue and west of the intersection of Railroad Avenue and Mill Road.</i>
Commercial	Permitted.

B. BUILDING CONFIGURATION

B1. Maximum height, feet	Varies. See regulating plan.
B2. Max. height, stories	Varies. See regulating plan.
B3. Minimum height, stories	3

C. ALIGNMENT - PRINCIPAL BUILDINGS

C1. Principal Frontage BTZ	2 ft. min. 4 ft. max.
C2. Secondary Frontage BTZ	2 ft. min. 4 ft. max.
C3. Setback from TOD District boundary	Not Applicable
C4. Build-to frontage	80% min. at built-to zone

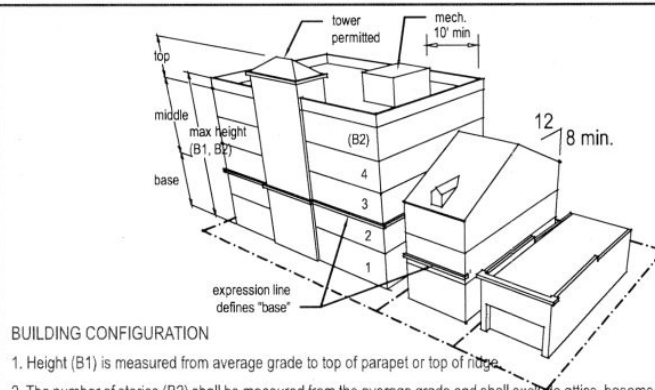
D. ACCESSORY BUILDINGS (NOT USED)

E. PARKING REQUIREMENTS

See Table 5

F. STREETScape

Street trees	50 ft o.c., average
Furnishings	50 ft o.c., average



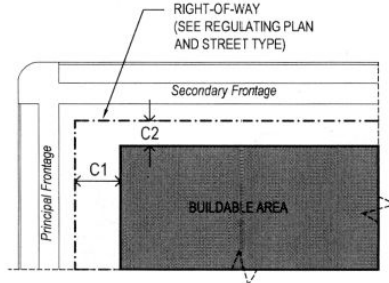
BUILDING CONFIGURATION

- Height (B1) is measured from average grade to top of parapet or top of ridge.
- The number of stories (B2) shall be measured from the average grade and shall exclude attics, basements, and other areas below the average grade.
- Mechanical / utility structures and enclosures are permitted above the allowed height, but must be set back at least 10' from the roof perimeter.
- A tower, cupola, or other vertical element shall be permitted above the allowed maximum height, but shall not exceed 20% of the first floor area in size, or 20% of the first floor frontage in length.
- Pitched (shingle) roofs, where not concealed by a parapet, must have an 8:12 or greater slope.
- For buildings taller than one story, a horizontal expression line is required at the second or third floor line, or between the second and third floor lines.
- For buildings taller than three stories, the building design shall have a distinct three-part vertical composition consisting of a base, middle, and top.

ALIGNMENT

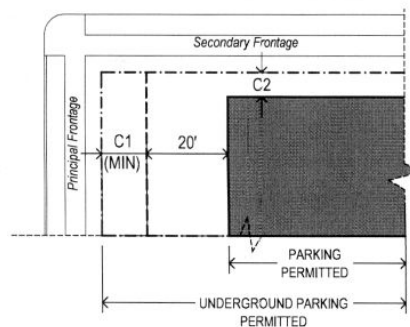
- Ground floor façades of principal buildings shall be built within the frontage build-to zones (C1, C2) to the minimum specified width (C4).

Exception: Where there is a designated outdoor space between the street lot line and a building, the build-to zone for such building shall be measured from the inner line (i.e. the line opposite and farthest from the lot line) of such designated outdoor space.



PARKING PLACEMENT

- Covered and/or surface parking spaces may only be provided where shown in the diagram at right.
- Underground parking is permitted anywhere within the buildable lot area.
- Garage entries from the Principal Frontage must serve a minimum of 8 parking spaces. Entrances to individual one- and two-car garages are not permitted on the Principal Frontage.
- Surface parking shall be screened from view along secondary frontages.



ZONING

TABLE 2. USES

RONKONKOMA HUB TOD

TABLE 2: Permitted uses. Any building or land in the Ronkonkoma Hub TOD District may include a combination of the uses permitted below.

A. Permitted uses

- | |
|--|
| 1) Farmers' Market |
| 2) Live/Work Units |
| 3) Parking Garages |
| 4) All residential and commercial uses, accessory uses and special permit uses authorized in Chapter 85 shall be permitted except as listed in Table 2, Section B. |

B. Prohibited uses

- | |
|---|
| 1) All uses exclusively permitted and/or exclusively special permitted in L-Industrial-1 and L-Industrial-2, L-Industrial-4, K Business, MHC-Mobile Home Community, HF-Horse Farm and PC- Pet Cemetery districts shall be prohibited. |
| 2) Outdoor storage, boat storage, motor vehicle repair, heavy construction vehicle dealerships, kennels, lumberyards and/or trucking terminals shall be prohibited. |

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RONKONKOMA HUB TOD

TABLE 3. PUBLIC STREET TYPES

TABLE 3: Public street type designs. These street types may be used for public or private rights-of-way as approved during the detailed site plan process. Streets shall generally be design for 30 miles per hour vehicular traffic. Specific street and roadway designs may vary from the following standard forms to accommodate required traffic mitigation measures (e.g., additional turning lanes). *Final lane widths as determined by the Planning Board.

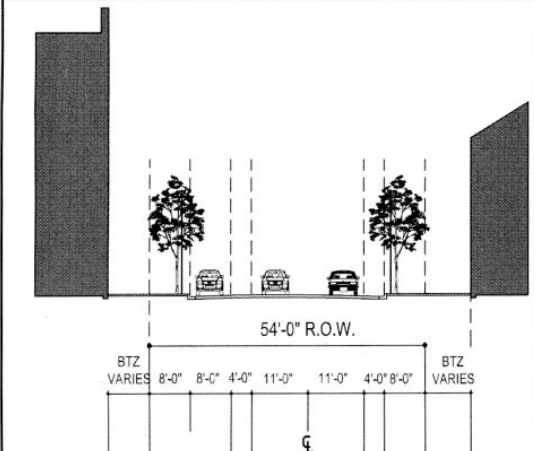
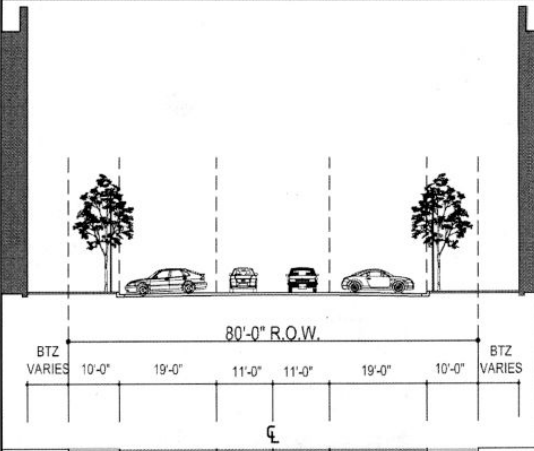
STREET TYPE 1a		STREET TYPE 1b	
Intended application	Public street	Intended application	Public street
Right-of-Way Width	66 feet	Right-of-Way Width	66 feet (minimum)
Pavement Width*	46 feet	Pavement Width*	46 feet (including median)
Traffic Lanes	2 lanes	Traffic Lanes	2 lanes
Bike Lanes	2 lanes	Bike Lanes	None
Parking Lanes	Both sides, parallel	Median	Varies; 8 feet, minimum (Larger at the request of Master Developer, where approved by the Town)
Curb	Bulbouts required at intersections	Parking Lanes	Both sides, parallel
Walkway Type	10' Sidewalk, minimum	Curb	Bulbouts required at intersections
Planter Type	5'x10' tree well, or as approved in site plan review	Walkway Type	10' Sidewalk
Landscape Type	See Subdistrict requirements	Planter Type	5'x10' tree well or as approved in site plan review
Street Furnishings	See Subdistrict requirements	Landscape Type	See Subdistrict requirements
Utilities	Underground	Street Furnishings	See Subdistrict requirements
		Utilities	Underground

ZONING

TABLE 3.(CONT'D) PUBLIC STREET TYPES

RONKONKOMA HUB TOD

TABLE 3: Public street type designs. (Continued)

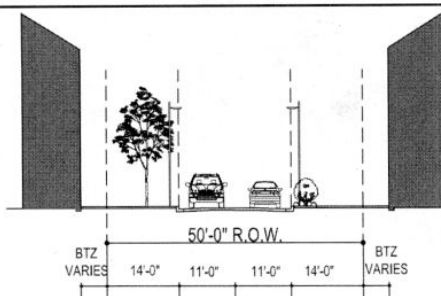
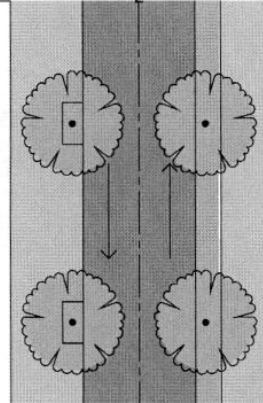
STREET TYPE 1c		STREET TYPE 2	
			
Intended application	Public street	Intended application	Public street
Right-of-Way Width	54 feet	Right-of-Way Width	80 feet
Pavement Width*	38 feet	Pavement Width*	60 feet
Traffic Lanes	2 lanes	Traffic Lanes	2 lanes
Bike Lanes	2 lanes	Bike Lanes	None
Parking Lanes	One side, parallel	Parking Lanes	Both sides, angled
Curb	Bulbouts required at intersections	Curb	Bulbouts required at intersections
Walkway Type	8' Sidewalk	Walkway Type	10' Sidewalk
Planter Type	4'x10' tree well	Planter Type	5'x10' tree well
Landscape Type	See Subdistrict requirements	Landscape Type	See Subdistrict requirements
Street Furnishings	See Subdistrict requirements	Street Furnishings	See Subdistrict requirements
Utilities	Underground	Utilities	Underground

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RONKONKOMA HUB TOD

TABLE 3. (CONT'D) PUBLIC STREET TYPES

TABLE 3: Public street Type designs. (Continued.)

STREET TYPE 4	
	
	
Intended application	Public street
Right-of-Way Width	50 feet
Pavement Width*	22 feet
Traffic Lanes	2 lanes
Bike Lanes	None
Parking Lanes	None
Curb Radius	(undefined)
Walkway Type	5' Sidewalk (minimum)
Planter Type	5' wide planting strip or 5'x10' tree well
Landscape Type	See subdistrict requirements; <i>Exception: at this Street Type, tree requirements must be met on only one side of street</i>
Street Furnishings	See Subdistrict requirements
Utilities	Underground

ZONING

TABLE 4. PRIVATE STREET TYPES

RONKONKOMA HUB TOD

TABLE 4: Private street type designs. These street types, in addition to the Public Street Types in Table 3, are permitted by right as private street types within the Ronkonkoma Hub TOD District. Private street cartways and sidewalks shall be open to vehicular and pedestrian use by the general public. These shall not be interpreted to limit other configurations of streets, drives, and parking aisles, as approved in detailed site plan review. Specific street and roadway designs may vary from the following standard forms to accommodate required traffic mitigation measures (e.g. additional turning

STREET TYPE 3	
56'-0" (min) R.O.W. (private) 10'-0" (min) 10'-0" 10'-0" 18'-0" 8'-0" (min) MOUNTABLE STRIP WHERE REQUIRED FOR FIRE DEPARTMENT ACCESS MINIMUM PARKING SETBACK FROM PUBLIC STREETS PER SUBDISTRICT REQUIREMENTS	
Intended application	Private street
Right-of-Way Width	56 feet (min)
Pavement Width	38 feet
Traffic Lanes	2 lanes
Bike Lanes	None
Parking Lanes	Perpendicular parking one side
Curb	Bulbouts at intersections
Walkway Type	5' Sidewalk (minimum), one or both sides
Planter Type	planting strip or tree well
Landscape Type	Trees at 50 feet o.c. Avg., one or both sides
Street Furnishings	none required
Utilities	Underground

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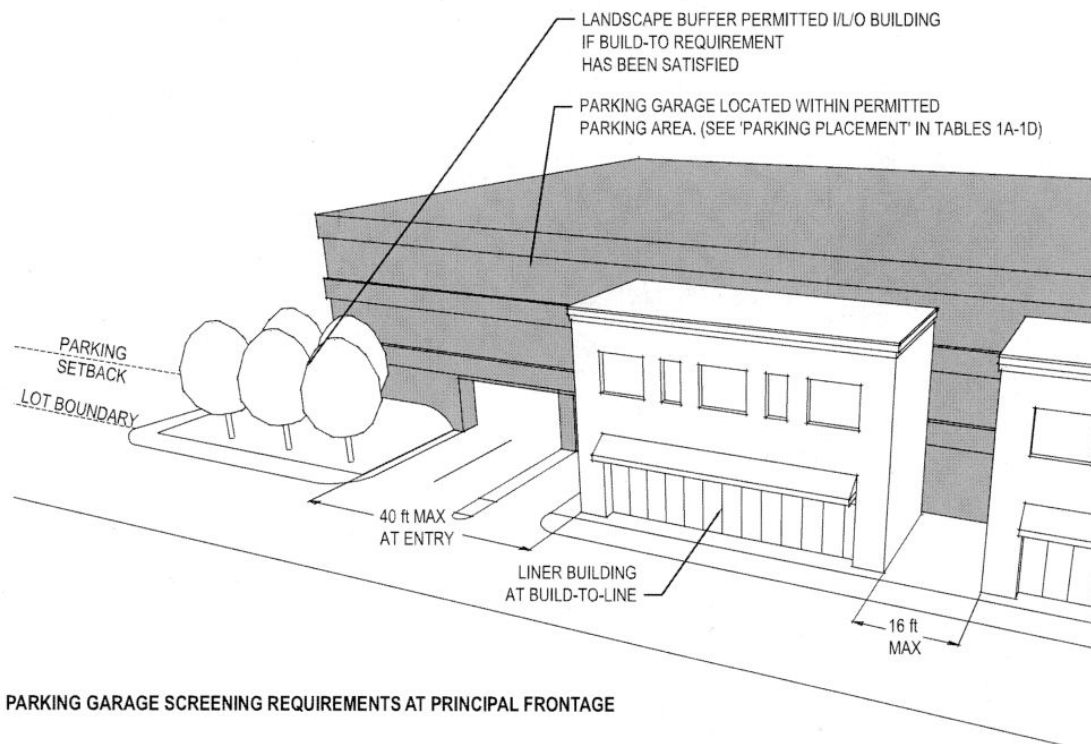
RONKONKOMA HUB TOD

TABLE 5. PARKING REQUIREMENTS

TABLE 5: Parking requirements. Except as noted, the provisions in this table shall be the exclusive parking provisions for the Ronkonkoma Hub TOD District, and shall supersede and prevail over other parking provisions in the Town Code.

Land Use	Minimum parking spaces required
a. Residential	1.20 spaces per dwelling unit
b. Commercial	2.65 spaces per 1,000 square feet of building area
c. Restaurant	0.33 spaces per seat
d. Office	2.86 spaces per 1,000 square feet of building area

Parameter	Requirement
e. Size of parking space	Minimum 9 ft x 18 ft
f. Drive aisle width (double-loaded)	Minimum 24 ft
g. Drive aisle width (single-loaded)	Minimum 20 ft
h. Landscape screening	Required for surface parking abutting primary and secondary frontage
i. Unbuffered garage exposure at principal frontage	Maximum 16 ft interruption of frontage. <i>Exception: Maximum 40 ft. interruption of frontage at vehicular entrance. (see illustration below)</i>



PARKING GARAGE SCREENING REQUIREMENTS AT PRINCIPAL FRONTAGE

ZONING

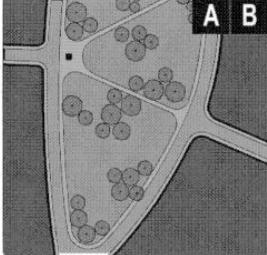
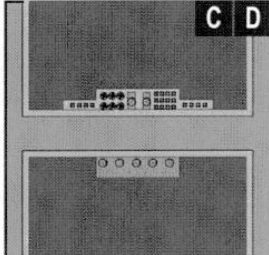
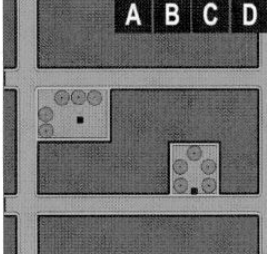
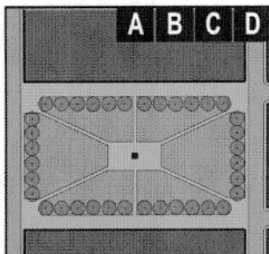
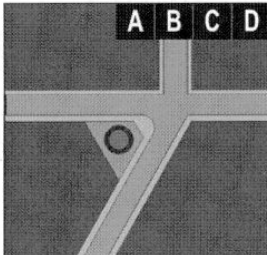
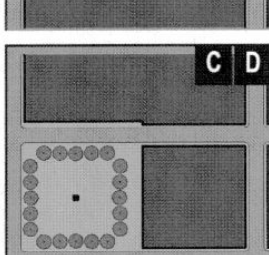
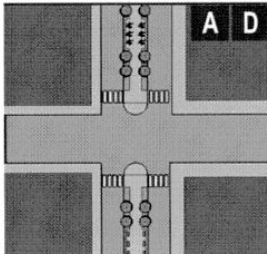
TABLE 6. DESIGNATED OUTDOOR SPACE

RONKONKOMA HUB TOD

TABLE 6a: Designated Outdoor Space. The provisions in this table shall be the exclusive provisions for open space in the Ronkonkoma Hub TOD District, and shall supersede and prevail over any other open space provisions in the Town Code. For each site plan application in the Ronkonkoma Hub TOD District, designated outdoor space shall be provided, as necessary, to ensure that such space, combined with the area of the existing train station plaza and the areas of designated outdoor space provided on all previously-approved site plans in the Ronkonkoma Hub TOD District, does not, at any time, constitute less than 5% of the total buildable lot area covered by the proposed site plan application and all previously-approved site plans in the Ronkonkoma Hub TOD District.

Shade structures, including but not limited to umbrellas, awnings, tensile fabric structures, and brise-soleil shall be permitted in any designated outdoor space.

TABLE 6b: Designated Outdoor Space Types. This table defines types of Designated Outdoor Space which meet the Designated Outdoor Space requirement and the subdistricts in which each Type is permitted

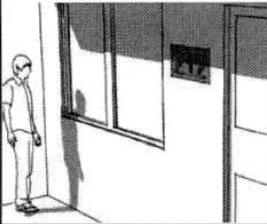
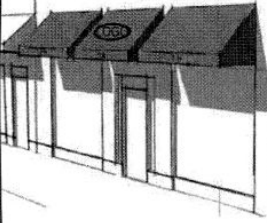
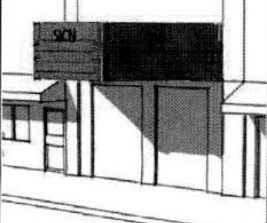
a. Green: An informal outdoor space, available for unstructured recreation. A green may be spatially defined by landscaping rather than building facades. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be 1/8 acre.		e. Outdoor Activity Zone: An outdoor space available for civic or commercial use in which a enlarged sidewalk or landscape area is provided in excess of the minimum required by at least four feet in width. Outdoor dining areas, even where restricted to use by patrons of a specific establishment, qualify as an outdoor activity zone.	
b. Pocket Park: A small outdoor space located within a block or interspersed among blocks. A pocket park may include a playground. Where bounded by landscape walls or formal hedges, a pocket park may be counted toward required buildout at frontage. The minimum size shall be 800 sf.		f. Square: A formal outdoor space available for unstructured recreation and civic purposes. A square is spatially defined by building facades. Its landscape shall consist of paths, lawns and trees, formally disposed. The minimum size shall be 5000 sf. A square may be counted toward required buildout at frontage.	
c. Node: A small formal outdoor space at or within prominent intersections. A node may include art installations, fountains, or structured planters.		g. Plaza: A formal outdoor space available for civic purposes and commercial activities. A plaza shall be spatially defined by building facades. Its landscape shall consist primarily of pavement. Trees are optional. The minimum size shall be 5000 sf. A plaza may be bisected by a street if the pavement and curb profile distinguish the street as part of the plaza area. A plaza may be counted toward required buildout at frontage.	
d. Median: A small outdoor space located within a street right-of-way, separating vehicular travel lanes with either landscape or hardscape. A median must be a minimum of ten feet in width, and include a usable amenity such as seating or bicycle parking to qualify as designated outdoor space.			

BROOKHAVEN CODE

RONKONKOMA HUB TOD

TABLE 7: SIGNS

TABLE 7: Permitted signs. In addition to all other signs permitted by the Town Code, the specific signage types identified herein are permitted in the indicated subdistricts of the Ronkonkoma Hub TOD District, provided they meet the specifications set forth herein. The signage specifications set forth herein prevail over and supersede any provisions of the Town Code that otherwise prohibit or restrict the signage types set forth herein.

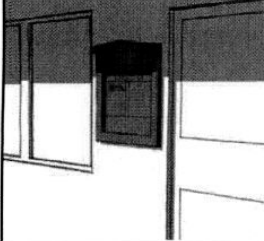
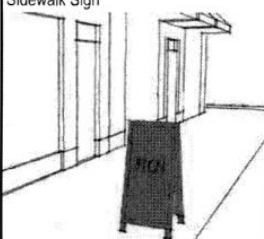
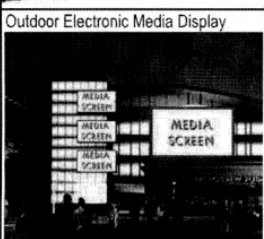
Subdistrict	A	B	C	D	SPECIFICATIONS	
Address or Nameplate Sign 	■	■	■	■	Quantity (max) Area Width Height Depth / Projection Max mounting height (top) Letter Height Illumination	1 per address max 2 sf max 24 in max 24 in max 3 in 7 ft max 6" max 185 lumens internal
Awning with Sign 	■	■	■	■	Quantity (max) Area Width Height Depth / Projection Clearance Max mounting height (top) Letter Height Logo Valance Height Distance from Curb Illumination Permitted surface materials Encroachment into ROW	1 per window/door n/a max equals width of Facade n/a min 3 ft, max 6 ft min 8 ft first floor only min 5 in, max 10 in one per business max 12 in min. 2 ft. External, building-mounted only. Fabric, metal roofing, glass. 3 ft permitted
Band Sign 	■	■	■	■	Quantity (max) Area (max) Width Height (Subdistrict B) Height (Subdistrict C,D) Depth / Projection Clearance Letter Height Illumination	1 per 24 ft of facade length 2 sf per linear ft Facade max 90% width of Facade max 18 in max 3 ft max 7 in min 7 ft max 24 in External, building-mounted only.
Shingle Sign 	■	■	■	■	Quantity Area (Subdistrict A) Area (Subdistrict B,C,D) Width Height Depth / Projection Clearance Max mounting height (top) Letter Height Encroachment into ROW	max 1 per business; max 1 per 24 lf of facade max 6 sf max 4 sf max 4 ft max 4 ft max 4 ft min 8 ft n/a max 8 in 3 ft permitted
Marquee and Sign 	■	■	■	■	Quantity (max) Area Width (max) Height Depth / Projection Clearance Max mounting height (top) Letter Height Distance from Curb	1 per block n/a entrance plus 2' each side max 50% Story height min 4 ft, max 10 ft min 10 ft n/a n/a min 3 ft.

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TABLE 7: SIGNS (CONT'D)

RONKONKOMA HUB TOD

TABLE 7: Permitted signs. (continued)

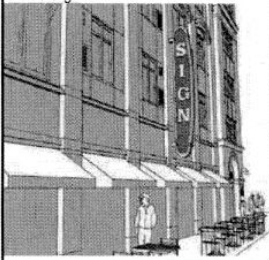
Subdistrict	A	B	C	D	Specifications																								
Outdoor Display Case 		■	■	■	<table><tr><td>Quantity</td><td>1 per entrance</td></tr><tr><td>Area</td><td>max 6 sf</td></tr><tr><td>Width</td><td>max 3.5 ft</td></tr><tr><td>Height</td><td>max 3.5 ft</td></tr><tr><td>Depth / Projection</td><td>max 5 in</td></tr><tr><td>Clearance</td><td>min 4 ft</td></tr><tr><td>Max mounting height (top)</td><td>8 ft</td></tr><tr><td>Illumination</td><td>max 2000 lumens internal</td></tr></table>	Quantity	1 per entrance	Area	max 6 sf	Width	max 3.5 ft	Height	max 3.5 ft	Depth / Projection	max 5 in	Clearance	min 4 ft	Max mounting height (top)	8 ft	Illumination	max 2000 lumens internal								
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Sidewalk Sign 		■	■	■	<table><tr><td>Quantity</td><td>1 per retail or food service business</td></tr><tr><td>Area</td><td>max 8 sf</td></tr><tr><td>Width</td><td>max 26 in</td></tr><tr><td>Height</td><td>max 42 in</td></tr></table>	Quantity	1 per retail or food service business	Area	max 8 sf	Width	max 26 in	Height	max 42 in																
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Area	max 8 sf																												
Width	max 26 in																												
Height	max 42 in																												
Window Sign 		■	■	■	<table><tr><td>Quantity</td><td>1 per window</td></tr><tr><td>Area</td><td>max 25% of glass</td></tr><tr><td>Clearance</td><td>4 ft</td></tr><tr><td>Letter Height</td><td>max 12 in</td></tr></table>	Quantity	1 per window	Area	max 25% of glass	Clearance	4 ft	Letter Height	max 12 in																
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Letter Height	max 12 in																												
Outdoor Electronic Media Display 				■	<table><tr><td colspan="2">LARGE</td></tr><tr><td>Quantity</td><td>1 maximum in TOD</td></tr><tr><td>Area</td><td>max 920 sf</td></tr><tr><td>Width</td><td>max 40 ft</td></tr><tr><td>Height</td><td>max 23 ft</td></tr><tr><td>Max mounting height (top)</td><td>max 42 ft</td></tr><tr><td colspan="2">SMALL</td></tr><tr><td>Quantity</td><td>3 maximum in TOD</td></tr><tr><td>Area</td><td>max 144 sf</td></tr><tr><td>Width</td><td>max 16 ft</td></tr><tr><td>Height</td><td>max 9 ft</td></tr><tr><td>Max mounting height (top)</td><td>max 42 ft</td></tr></table>	LARGE		Quantity	1 maximum in TOD	Area	max 920 sf	Width	max 40 ft	Height	max 23 ft	Max mounting height (top)	max 42 ft	SMALL		Quantity	3 maximum in TOD	Area	max 144 sf	Width	max 16 ft	Height	max 9 ft	Max mounting height (top)	max 42 ft
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Neon 				■	<table><tr><td colspan="2">Custom-made only</td></tr><tr><td>Area</td><td>max 144 sf</td></tr><tr><td>Max mounting height (top)</td><td>max 42 ft</td></tr></table>	Custom-made only		Area	max 144 sf	Max mounting height (top)	max 42 ft																		
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BROOKHAVEN CODE

RONKONKOMA HUB TOD

TABLE 7: SIGNS (CONT'D)

TABLE 7: Permitted signs. (continued)

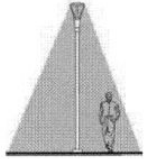
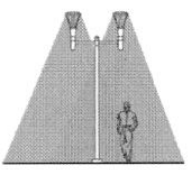
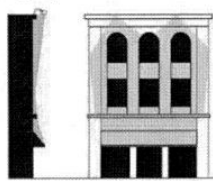
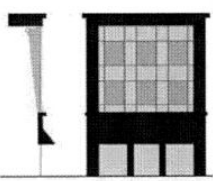
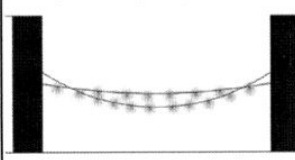
Subdistrict	A	B	C	D	Specifications																
Blade Sign			■	■	<table><tr><td>Quantity</td><td>1 per 40 ft of frontage</td></tr><tr><td>Width</td><td>max 30 in</td></tr><tr><td>Vertical length</td><td>max 50% of facade height</td></tr><tr><td>Depth</td><td>max 8 in</td></tr><tr><td>Clearance</td><td>min 8 ft</td></tr><tr><td>Max mounting height (top)</td><td>35 ft</td></tr><tr><td>Illumination</td><td>unrestricted</td></tr><tr><td>Encroachment into R.O.W.</td><td>2' permitted</td></tr></table>	Quantity	1 per 40 ft of frontage	Width	max 30 in	Vertical length	max 50% of facade height	Depth	max 8 in	Clearance	min 8 ft	Max mounting height (top)	35 ft	Illumination	unrestricted	Encroachment into R.O.W.	2' permitted
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Encroachment into R.O.W.	2' permitted																				

ZONING

TABLE 8. SUPPLEMENTARY PUBLIC LIGHTING

RONKONKOMA HUB TOD

TABLE 5: Supplementary Public Lighting. The generic lighting types below shall be permitted in the subdistricts indicated. Except as noted, the provisions in this table shall be the exclusive lighting provisions for the TOD zoning district, and shall supersede and prevail over other lighting provisions in the Town Code. This table shall not prohibit any lighting otherwise permitted in the Town of Brookhaven. (The illustrations do not indicate a specific luminaire, only the general form, proportion, and light distribution)

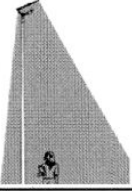
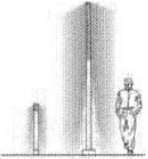
Subdistrict	A	B	C	D	Characteristics
Post 	■	■	■	■	Light source: LED, ceramic metal halide, and others as permitted elsewhere in the Code. Color temperature: Unrestricted Cutoff: fully shielded Spill onto adjacent properties: Permitted to spill within and among the C & D subdistricts. Maximum height: 20 ft
Column 	■	■	■	■	Light source: LED, ceramic metal halide, and others as permitted elsewhere in the Code. Color temperature: Unrestricted Cutoff: fully shielded Spill onto adjacent properties: Permitted to spill within and among the C & D subdistricts. Maximum height: 20 ft
Double Column 		■	■	■	Light source: LED, ceramic metal halide, and others as permitted elsewhere in the Code. Color temperature: Unrestricted Cutoff: fully shielded Spill onto adjacent properties: Permitted to spill within and among the C & D subdistricts. Maximum height: 20 ft
Facade Lighting 			■	■	Light source: LED, ceramic metal halide, and others as permitted elsewhere in the Code. Color temperature: Unrestricted Cutoff: partially shielded (fully shielded from public side) Spill onto adjacent properties: Permitted to spill within and among the C & D subdistricts.
Backlit Facade or Video Panel 				■	Light source: LED, ceramic metal halide, and others as permitted elsewhere in the Code. Color temperature: Unrestricted Cutoff: (Not applicable) Spill onto adjacent properties: Permitted to spill within and among B, C & D subdistricts.
Catenary or Street-spanning Arch 				■	Permitted only where approved by the Town, and subject to establishment of a maintenance agreement between the Town and the Master Developer. Light source: LED, ceramic metal halide, and others as permitted elsewhere in the Code. Maximum lumens / bulb: 850 lm Color temperature: Unrestricted Cutoff: Non-cutoff Spill onto adjacent properties: Permitted to spill within and among B, C & D subdistricts.

BROOKHAVEN CODE

RONKONKOMA HUB TOD

TABLE 8. SUPPLEMENTARY PUBLIC LIGHTING

TABLE 5: Supplementary Public Lighting (Continued).

Subdistrict	A	B	C	D	Characteristics
Reflected downlight 				■	Light source: LED, ceramic metal halide, and others as permitted elsewhere in the Code. Color temperature: Unrestricted Cutoff: Indirect cutoff Spill onto adjacent properties: Permitted to spill within and among the C & D subdistricts. Maximum height: 20 ft
Light Column 			■	■	Light source: LED, ceramic metal halide, and others as permitted elsewhere in the Code. Color temperature: Unrestricted Cutoff: Fully shielded Spill onto adjacent properties: Permitted to spill within and among the C & D Subdistricts Maximum height: 12'
Neon 				■	Custom-made only (generic, mass-produced neon signs are prohibited) Light source: Neon Color temperature: Unrestricted Cutoff: Unrestricted Spill onto adjacent properties: Permitted to spill within and among the B, C, & D Subdistricts.