

ZONING

450 Attachment 3

Village of Sleepy Hollow

Regulations Booklet

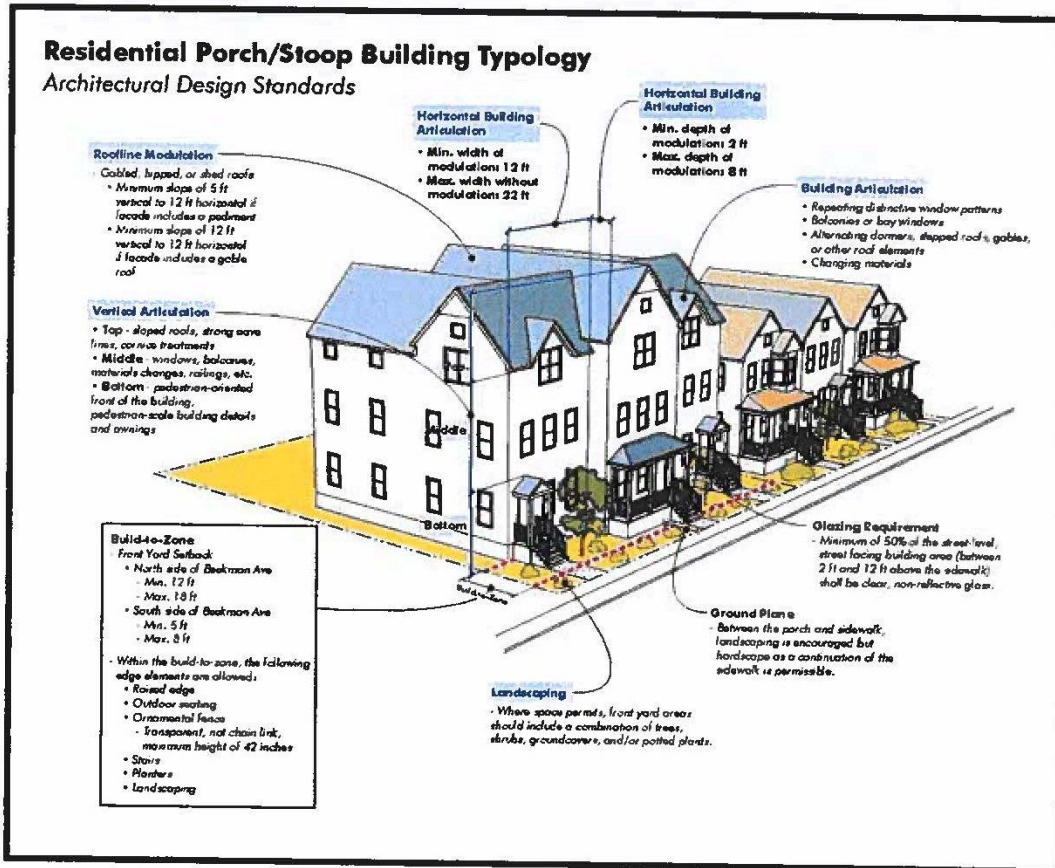
[Amended 10-4-2022 by L.L. No. 9-2022]

**Lower Beekman Avenue Design Standards Overlay District
Design Guidelines**

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Building Typologies Permitted in the Overlay District

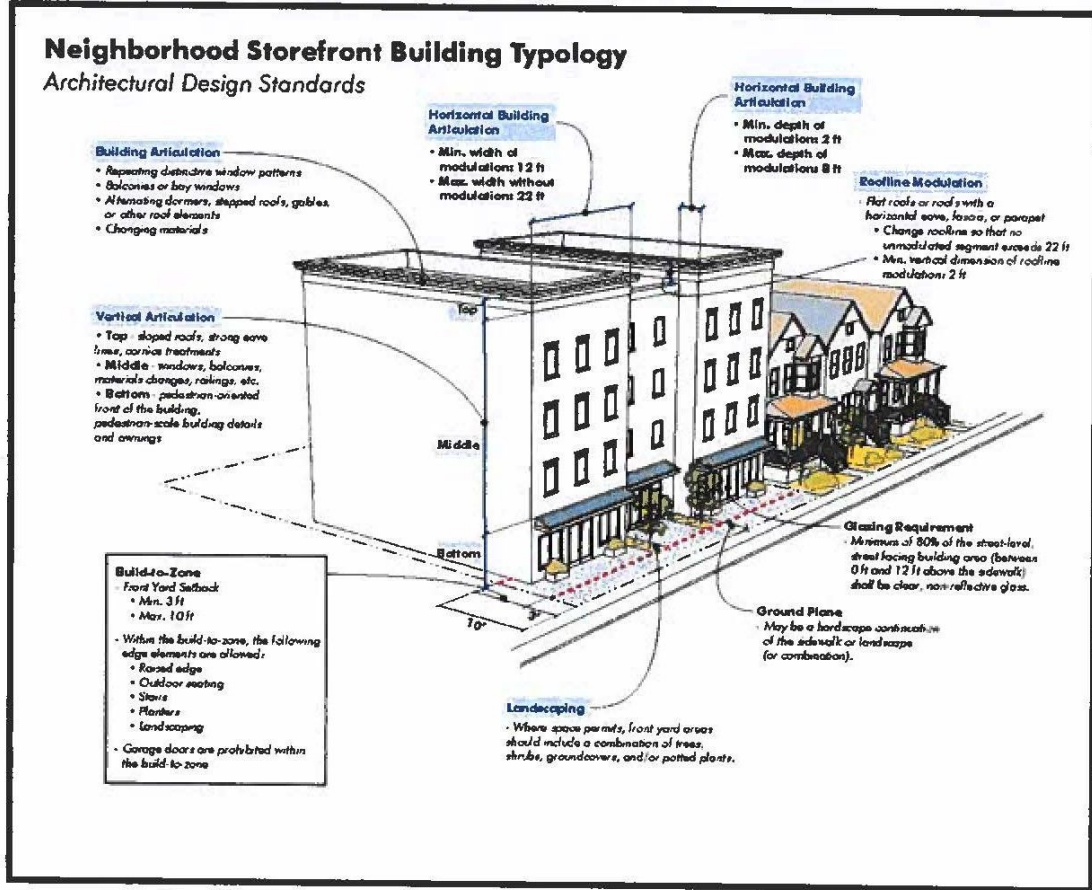
Residential Porch/Stoop Building Typology



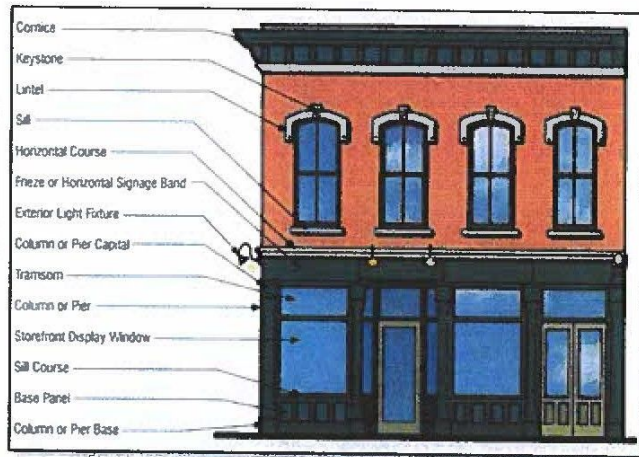
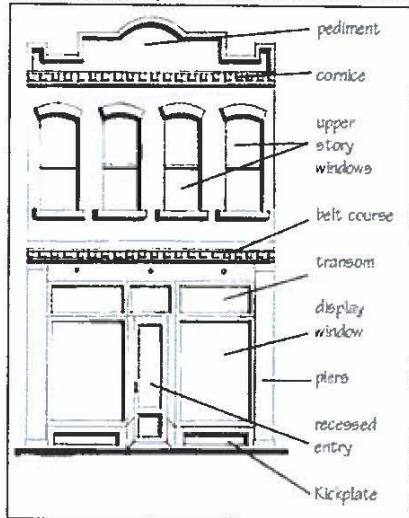
- Porches, stoops and entry porticos
 - Semi-public porches, stoops and porticos, elevated above the ground plane, provide a greater degree of privacy for ground-floor residential uses and help preserve existing architectural character.
 - Porches and stoops may be within the build-to zone.
 - Porch depth shall be a minimum of 6-ft
- Ground plane
 - Between the porch and sidewalk, landscaping is encouraged but hardscape as a continuation of the sidewalk is permitted.
- Glazing requirement
 - Minimum of 30% of the first floor, street facing building area shall be clear, non-reflective glass.

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Neighborhood Storefront Building Typology



Storefront component definitions and suggested façade elements:

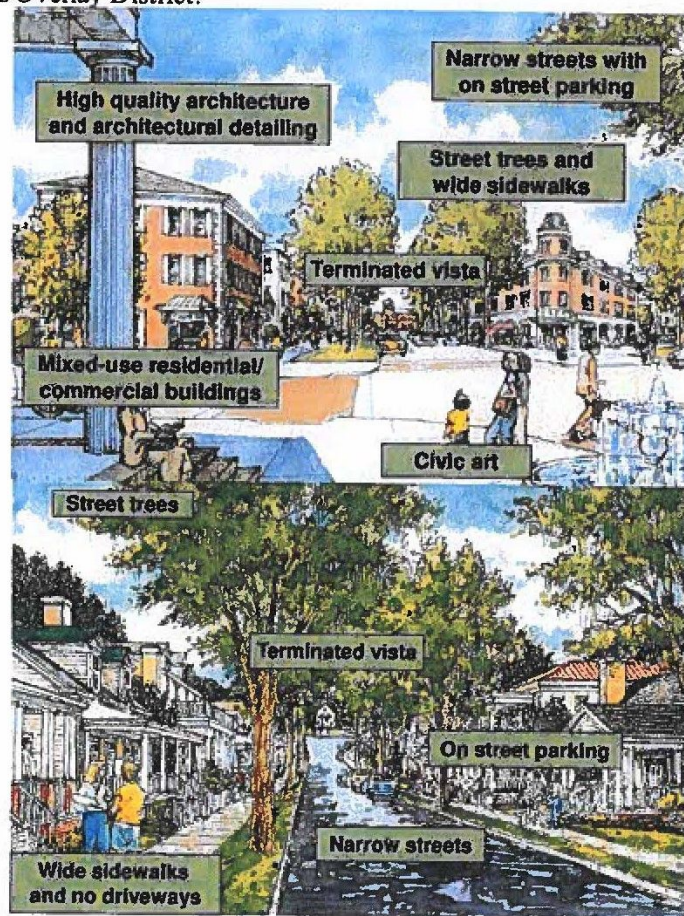


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- The Neighborhood Storefront Building Typology is permissible at corner lots, street intersections, or at street terminated vistas only. The Neighborhood Storefront Typology is prohibited from mid-block areas unless providing a terminated vista to a side street.
- Ground plane
 - May be a hardscape continuation of the sidewalk and landscaped (or combination).
- Glazing requirement
 - Minimum of 50% of the street-level, street facing building area (between 0' and 12' above the sidewalk) shall be clear, non-reflective glass.
 - The storefront façade base panel or kickplate may not be greater than 2-ft in height.

General Design Standards

The following general design principles are recommended in the Lower Beekman Avenue Design Standards Overlay District:



- Landscaping

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- Where space permits, front yard areas shall include a combination of trees, shrubs, groundcovers and/or planters utilizing native species. No invasive species as defined by NYSDEC are permitted.
- All sidewalks, open spaces, and parking areas shall be landscaped and/or paved in a manner which will harmonize with proposed buildings. Materials for paving, walls, fences, curbs, benches, etc. shall be attractive, durable, easily maintained, stormwater permeable, and compatible with the exterior of adjacent buildings.
- ADA compliant brick or cobble stones are permitted.
- Public sidewalks along Beekman Avenue must be maintained at the width of the condition existing at the date of adoption of this regulation.
- Buffer landscaping, fencing, or other screening to separate different types of land uses and to screen parking, utility buildings or structures, refuse collection areas, heating or cooling systems, and other similar installations and features shall be required.
- All plants, trees and shrubs shall be installed in accordance with a planting schedule provided by the developer and approved by the Planning Board.
- If feasible and permissible, and if obstacles are not present, street tree pits and approved street trees must be provided at 20-ft maximum increments along the street frontage.
- Stormwater retention tree pits, bioswales, permeable pavement and other green infrastructure features are recommended at all sidewalks, driveways and parking areas.

Architectural Standards

- Horizontal building modulation
 - Maximum width without building modulation: 24 feet
 - Minimum depth of modulation: 16 inches
 - Maximum depth of modulation: 8 feet
 - Minimum width of modulation: 8 feet
 - Bays and towers are encouraged
 - Building modulations must be proportionate to the overall building façade
- Roofline Modulation is recommended with use of dormers, gables, turrets, towers or other architectural elements
- Primary entrances are required at the façade facing Beekman Avenue. Building entrances must be covered by a porch, portico or overhang.
- Flat roofs or roofs with a horizontal eave, fascia, or parapet
 - Change roofline so that no unmodulated segment exceeds 22 feet
 - Minimum vertical dimension of roofline modulation: 16 inches
 - Parapet pediments or other architectural features are recommended
 - Flat roofs must visually suggest a cornice at the eave, fascia, or parapet. Architrave, frieze, and cornice molding including brackets, corbels and dental molding is recommended.
- Gabled, hipped, or shed roofs
 - Minimum slope of 4 feet vertical to 12 feet horizontal if facade includes a pediment shed roof

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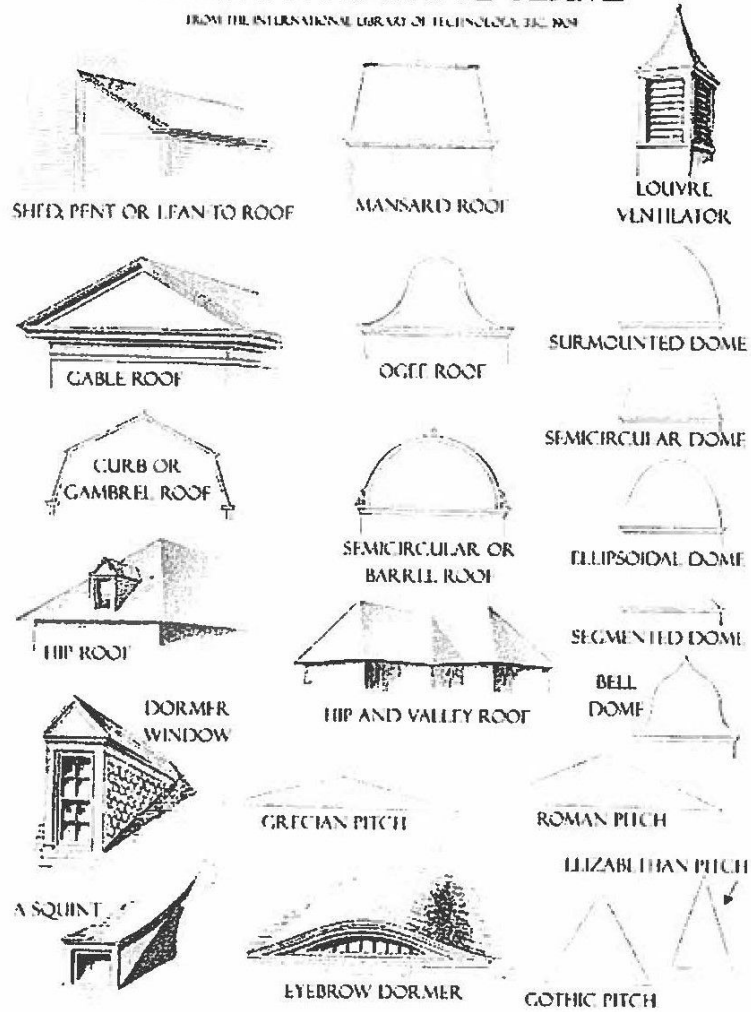
- Minimum slope of 9 feet vertical to 12 feet horizontal if facade includes a gable roof
- Mansard roofs
 - Minimum slope of 12 feet vertical to 3 feet horizontal
 - Convex, concave, and complex mansard roofs are recommended.
 - Mansard roofs must contain a cornice or curbs below and above the mansard roof
- Dormers
 - Dormers must be vertically oriented, unless the dormer is a shed or squint dormer, and meet the rectangular ratio requirements indicated in the Fenestration requirements in this section.
- Projections Above the Roof Plane
 - A vertical architectural projection or enclosure to provide roof access is permissible above building height limits in accordance with §450-38. Ornamental roof typologies are recommended. Flagpoles or finials are encouraged.
- Building articulation
 - The following design elements shall be included in a rhythm or pattern that complements the horizontal modulation and roofline modulation:
 - Repeating distinctive window patterns
 - Balconies or bay windows
 - Alternating dormers, stepped roofs, gables, or other roof elements including turrets, towers, campanile, etc.
 - Varying materials and textures
 - Vertical articulation
 - Top: sloped roofs, strong eave lines, cornice treatments, etc.
 - Middle: windows, balconies, materials changes, railings, etc.
 - Bottom: pedestrian-oriented front of the building, pedestrian-scale building details and awnings.
- Materials
 - High-quality, durable materials
 - Masonry, including brick and stone
 - Cast stone or tile
 - Wood, metal or cementitious materials
 - Artificial siding materials are not permitted along street frontages and public ways
 - Other materials subject to approval by the Planning Board and/or Architectural Review Board.

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The following roof and dormer typologies and features are recommended within the Overlay District:

GENERAL ROOFING TERMS

FROM THE INTERNATIONAL LIBRARY OF TECHNOLOGY, ETC., 1901

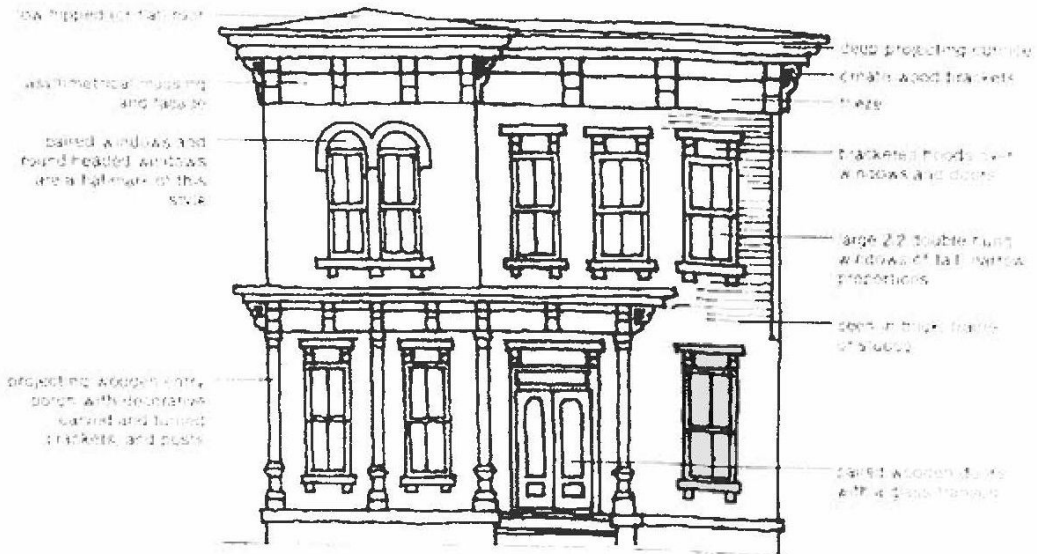


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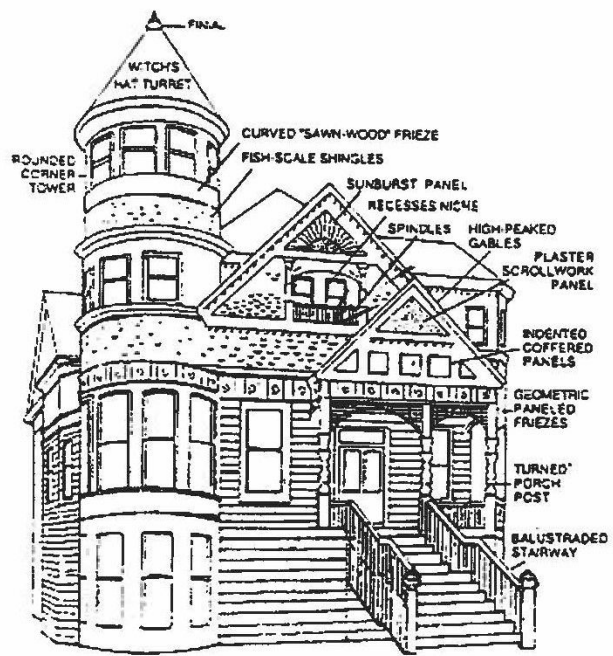
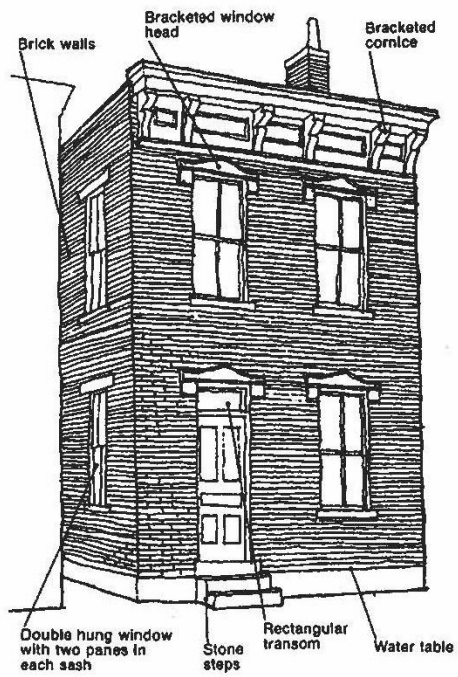
- Fenestration
 - Height to width ratio of single openings and group openings proportionally scaled to the wall. The following width: height ratios are recommended:
 - Ground Floor: 1:2.36
 - Floor 2: 1:2.236
 - Floors 3 and above: 1:1.618
 - All windows on floors 2 and above must be the same width, unless part of a bay window, facade projection or other architectural feature.
 - The following window height to wall height relationships are highly recommended:
 - Ground Floor: 80% minimum and 95% maximum of wall height
 - Floors 2 to 3: 50% minimum to 70% maximum of wall height
 - Floors 4 and above: 33% minimum to 50% maximum of wall height
 - Door and window details and trim suitably scaled to the wall.
 - On floors other than the ground floor, reduce large expanses of glass used in windows and doors to smaller component windows reminiscent of traditional main street vernacular architecture. Horizontally oriented bands of glazing are not permitted.
 -
 - On floors other than the ground floor, windows and doors must be equally and symmetrically distributed horizontally across flat facades.
 - Blank walls are discouraged along any exterior wall facing a street, parking area, or sidewalk.
 - Visible lintels or crossheads are recommended
- Signage
 - Signage plan shall be provided as part of site plan review. See Chapter 338 – Signage

Recommended architectural styles include Italianate, Second Empire, Romanesque Revival, Federal, Greek Revival, Half-timbered, Carpenter Gothic, Stick, Queen Anne, or other Hudson Valley vernacular styles of the Victorian period and serve as a visual reference for permissible architectural designs within the Lower Beekman Overlay District. Example images of acceptable architectural styles, elements and encouraged architectural features are included herein:

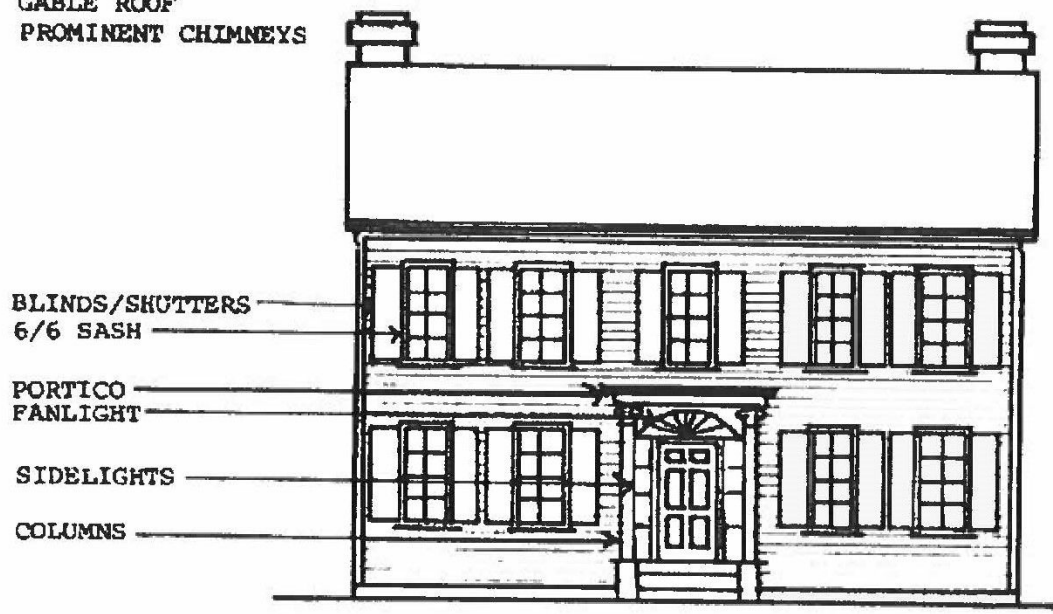
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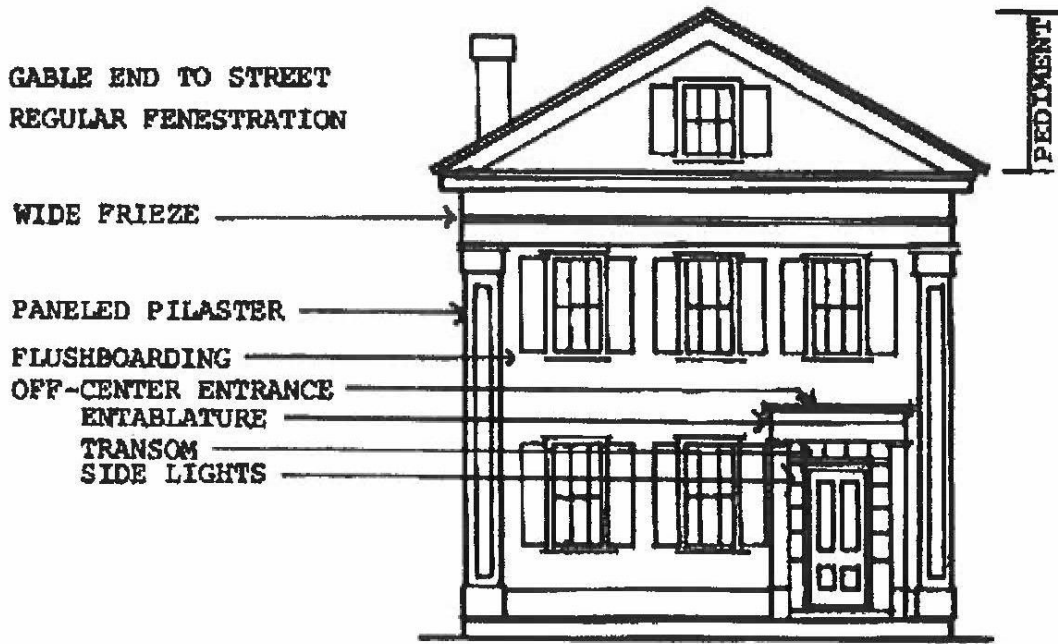
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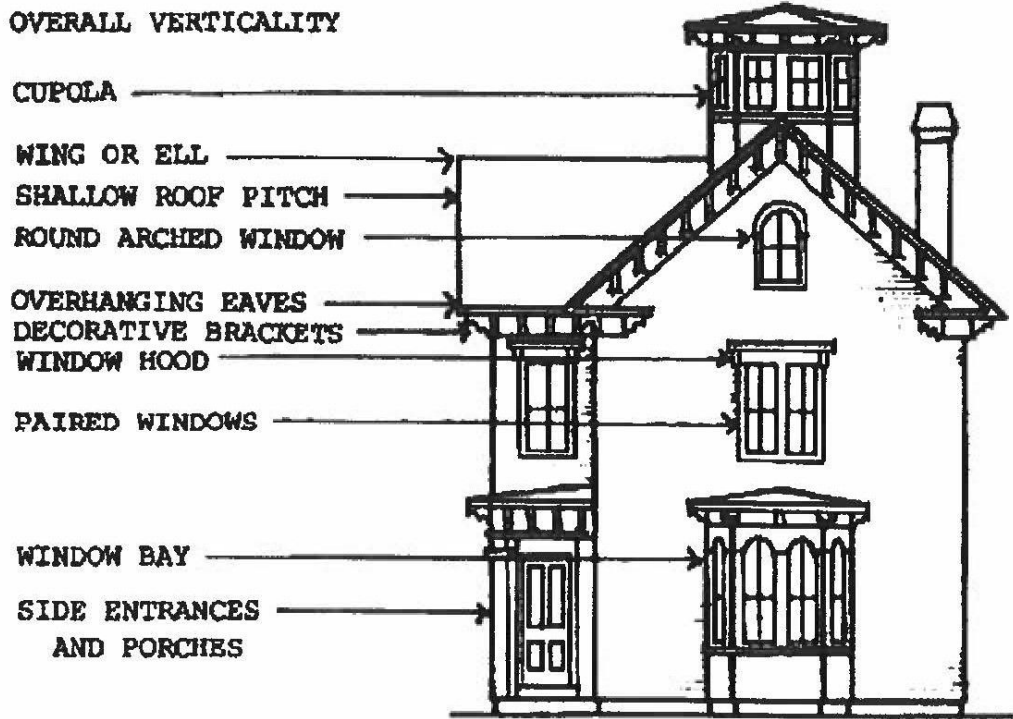
REGULAR FENESTRATION
GABLE ROOF
PROMINENT CHIMNEYS



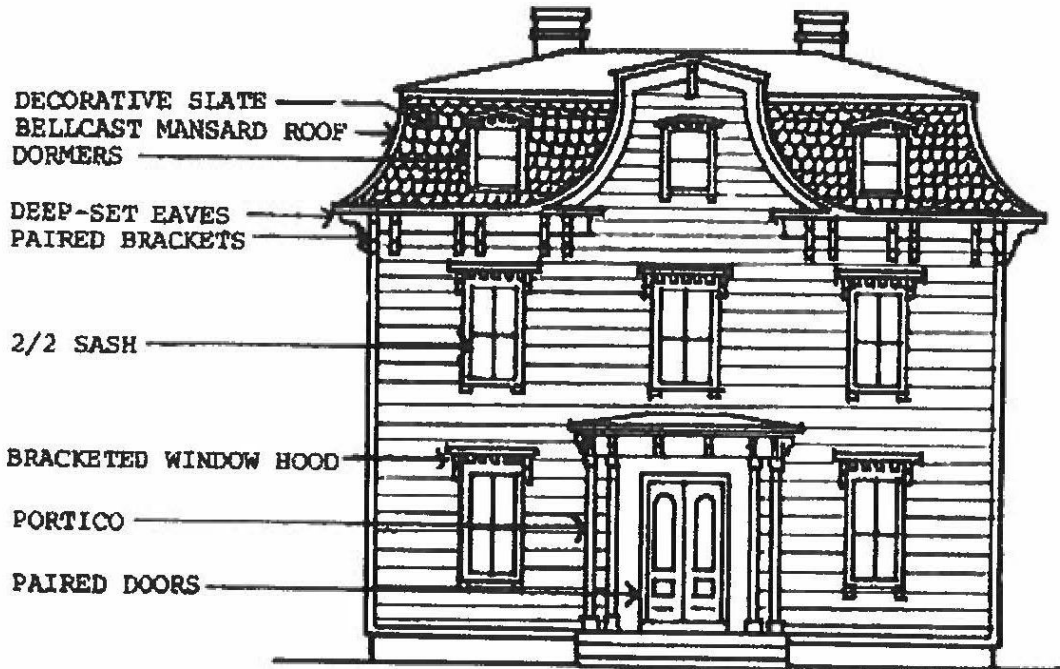
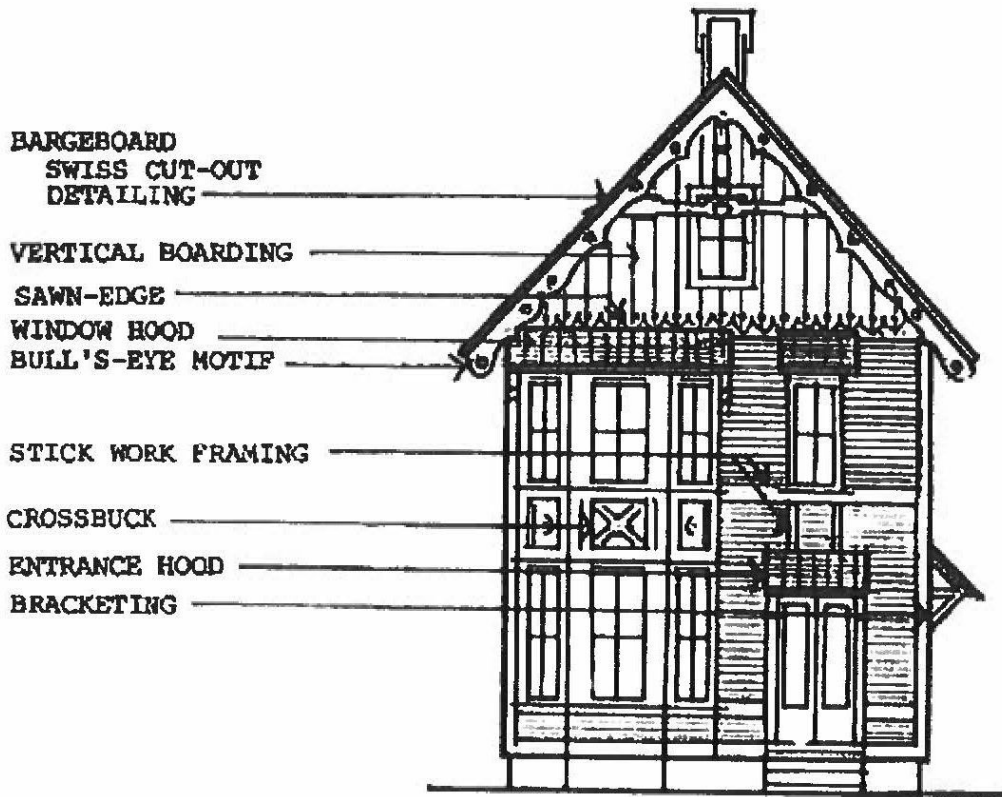
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OVERALL VERTICALITY



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