

ZONING

170 Attachment 15

City of Dover

**CBD Mixed Use Sub-District**

[Amended 9-11-2019 by Ord. No. 2019.08.28-12; 10-8-2025 by Ord. No. 2025.09.24-2]

The information included in this table represents the requirements for development in this sub-district; see § 170-20 for additional requirements.

**Statement of Purpose**

This is an area in transition. Once the homes of the mills' managers and the community's professionals and successful merchants, shipbuilders, sea captains, and others, these stately Victorian buildings are a tribute to Dover's financial success during the height of the mill economy. These elegant structures lend grace to the community. While some of the existing buildings remain as single-family residences, others are being converted to apartments and offices. As new structures replace older ones, they should follow the setback and massing of earlier structures. Residences in these newer buildings should be restricted to upper levels. Landscaping is an important element of this district, in both the public and private arenas.

**Dimensional Regulations\***

<b>Principal Building</b>	
Lot size	N/A
Lot coverage	50% min.
Frontage build-out	60% min.
Front primary build-to line	5 ft. min - 20 ft. max
Front secondary build-to line	5 ft. min - 20 ft. max
Side setback	5 ft. min, 20 ft. max
Rear setback	10 ft. min, 20 ft. max
<b>Outbuilding</b>	
Front setback	20 ft. min + bldg.. setback
Side setback	5 ft. min
Rear setback	5 ft. min
<b>Private Frontages</b>	
Common yard	Permitted
Porch and fence	Permitted
Terrace/lightwell	Permitted
Stoop	Permitted
Shopfront/awning	Permitted
Gallery	Not permitted

<b>Height of Building</b>	
Principal building	3 story max, 2 story min
Outbuilding/accessory	2 story max

**Parking Location Standards (See § 153-14)**

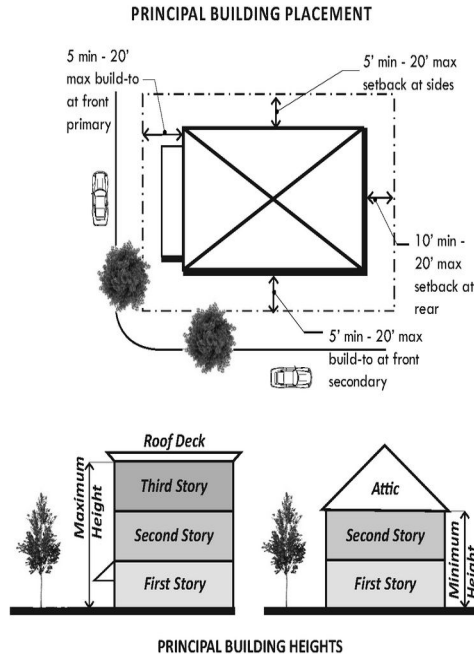
New construction resulting in additional square footage or an increase in residential units must comply with parking standards for the new portion of the building only.

**Permitted Uses\***

<b>Use</b>	
Residential	Permitted, but not on ground floor except in existing structures; density allowed at 5,000 sf per unit, 10 units max
Lodging	Permitted, up to 12 rooms w/ stays up to 14 days
Professional services & offices	Permitted
Eating & drinking establishments	Not permitted
Retail/personal services	Permitted
Industrial	Not permitted
Civic	Permitted
Drive-thru Services	Not permitted
Other	Via conditional use permit

\*CUP (§ 170-20B) may be used to adjust standards.

## DOVER CODE



within the sub-district, neighboring buildings, and natural and cultural resources. Building design should also minimize potential aesthetic conflicts between residential and nonresidential uses and between single-family and multifamily uses. Architectural standards are not intended to stifle creativity or variety but produce designs respectful of place and context. For more information, please see Section 2 of Dover's CBD Architectural Design Guidelines.

The following architectural standards must apply for a residential building with 5 units or more and all mixed-use/nonresidential uses. Applicants will also be expected to prepare a narrative explaining how the project meets all of the architectural standards.

### Required Ground Floor Standards:

- No less than 30% of the facade shall be windows.
- A pedestrian entrance shall be required at the street side or front facade.
- The use of ground floor exterior lighting on the building should offer a feeling of warm security and increase safety to pedestrians without being overwhelming.

### Required Building Standards:

- Building designs shall be harmonious with neighboring structures in terms of mass, width, height, proportion, spacing, and setback.
- All exterior walls that front on a public way with adjacent pedestrian traffic/infrastructure must incorporate wood, brick, stone or a suitable contemporary material appropriately detailed within the first 20 vertical feet.
- Large structures shall be broken into smaller masses to provide human scale, variation, and depth.
- The design of the building shall incorporate views that are directed to the street and garden/courtyard rather than adjacent neighbors.
- Buildings shall be placed at or near the street, along the outer edge of their sites, to ensure the unity of those streets and to encourage and facilitate pedestrian activity.
- Utility elements shall be screened in an aesthetically pleasing manner.
- Garages shall not face the street.
- Solar/green roof standard:
  - All buildings shall be constructed to be solar ready ensuring that future installation of solar energy systems can be easily and effectively accommodated.

### Optional Standards:

- Use of architectural details and changes in depth are encouraged on building elevations to increase visual interest and scale.
- Use of elements that accentuate and/or provide coverage at the entry such as canopy, porch, recessed entry, etc., is encouraged.
- Ornamental roof features that exceed the allowed building height are subject to the CUP process.
- Energy-efficient design techniques, LEED standards, or an equivalent standard is encouraged.
- Other integrated green infrastructure elements are encouraged.

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### Sign Regulations

Sign Size & Quantity	
Total signs permitted	2
Total area of all signs	1 sf per lf of frontage - area may be increased if mill motif is adhered to
Sign Type	
Freestanding	Not permitted
Projecting	Permitted - 10 ft. min above sidewalk, 25 ft. max height, 24 sq. ft. max
Wall/awning	Permitted - 40 sq. ft. max
Temporary	Permitted per § 170-500(1)
Sign Size & Quality	
Total signs permitted	2 [per tenancy, and is for lot (excluding development identification SIGNS)]

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### Architectural Standards\*

Preserving and enhancing the architectural tradition, history, and visual appeal of the Central Business District is integral to maintaining the character and identity of our community. Building designs and materials should enhance the appearance of Dover, reinforce pedestrian character where appropriate, and reflect a consistency found

## ZONING

### Streetscape Standards

Streetscape standards were crafted to ensure streets in mixed-use areas of the CBD have a relationship with adjacent buildings, accommodate pedestrians and bicyclists, and are compatible with the character of Dover's neighborhoods. All street elements must be consistent with Dover streetscape and landscape standards. For more information on streetscape standards, please see Section 3 of Dover's CBD Architectural Design Guidelines.

- Sidewalks shall be brick and a minimum of 5 feet wide.
- Street trees shall be planted at an average spacing of 25 to 30 feet on center. Planting method shall allow for maximum root zone space where possible. Existing healthy street trees shall be protected, if possible.
- Unpaved ground area along the frontage shall be planted with appropriate ground cover or shrubs, no bare ground or mulch-only areas permitted. Low-impact development techniques such as rain gardens, bioretention areas, tree boxes and other green infrastructure techniques shall be incorporated into these landscaped areas.
- Projects shall be designed to maintain and enhance the quality of vehicular, bicycle and pedestrian circulation and safety on affected public streets.
- Street furniture shall, at a minimum, be provided as follows:
  - 1 bench for every 75 feet of frontage.
  - At least 1 waste bin at each block corner.
  - 1 bike rack per nonresidential project.
- Lighting and mechanical equipment standards per § 170-20E(3)(d).
- Owners are encouraged to place planters and window boxes with flowering plants and/or climbing vines along the area in front of their buildings and maintain in such a way so that the walkway is cleared.
- Approved public art is encouraged.

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### STREETSCAPE ELEMENTS

