

ZONING

170 Attachment 2

City of Dover

Low Density Residential (R-20) District [Amended 8-19-2015 by Ord. No. 2015.07.22-017; 10-13-2021 by Ord. No. 2021.09.08-006]

Permitted Uses

- Accessory dwelling unit
- Adult day care [5]
- Assembly hall
- Bank [5]
- Beauty shop and barbershop [5]
- Bed-and-breakfast
- Child-care facility
- Child-care home
- Conservation lot
- Conversion of existing dwelling to accommodate not more than 2 units [6]
- Dwelling, two-family [7]
- Dwelling, three- to four-family [7]
- Dwelling, single-family
- Educational institution, K-12
- Farm [8]
- Farm animals for family use, for noncommercial purposes, on lots containing a one- or two-family dwelling [9]
- Office [10] [5]
- Personal service establishment [5]
- Public recreation
- Public utility [11]
- Retail sale of agricultural or farm products raised on site
- Roadside farm stand [12]
- Theater [5]
- Veterinary office, animal hospital or kennel [13]

Uses Permitted by Special Exception

- Assisted living facility
- Congregate care facility
- Continuing care community facility
- Educational institution, postsecondary
- Elderly assisted care home
- Helicopter takeoffs and landings
- Nursing home

Sign Regulations

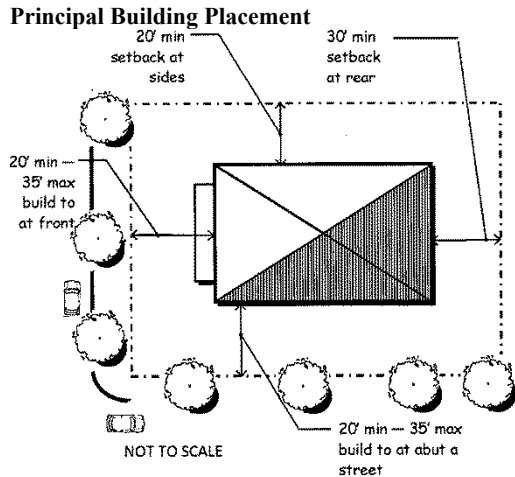
Size	R-20 District
Total signs permitted	1
Total area permitted	16 sf (customary home occupation sign 2 sf max, development identification sign 20 sf max)
Type	
Freestanding	Permitted (10 ft setback required)
Projecting	Permitted
Wall/awning	Not permitted
Temporary	Not permitted

Dimensional Regulations [1][2]

Lot	
Minimum lot size [3]	20,000 sf
Maximum lot coverage	30%
Minimum frontage	125 ft
Principal Building	
Front build-to line	20 ft min, 35 ft max*
Abut a street build-to line	20 ft min, 35 ft max*
Side setback	20 ft
Rear setback	30 ft
Outbuilding/Accessory Use	
Front setback	No closer than the principal building or 35 feet, whichever is less
Abut a street setback	No closer than the principal building or 35 feet, whichever is less
Side setback	10 ft
Rear setback	10 ft
Height of Building	
Principal building	35 ft max
Outbuilding	35 ft max

* Expansions to, or renovations of, existing structures have a twenty-foot setback.

DOVER CODE



Footnotes

- [1] In the case of an open space subdivision, in accordance with Article IV of Chapter 157 of the Code of Dover, the dimensional requirements shall be as specified in § 157-21 of the Code of the City of Dover.
- [2] Refer to §§ 170-13, 170-14 and 170-27D for exceptions to lot size, frontage and setback requirements.
- [3] All land containing wetlands shall not be counted in determining the gross land area of a lot for the purposes of minimum lot size or minimum density requirements for residential uses. The minimum nonwetland portion of any newly created lot shall be contiguous. For the purposes of this calculation, wetlands shall include areas that meet the definition of wetland in the New Hampshire Code of Administrative Rules Env-Wt 101.113 and the 1987 Federal Manual for Identifying Jurisdictional Wetlands. Wetland buffers shall only be allowed to count for 40% of the minimum lot size required.
- [4] Refer to Chapter 157, Subdivision of Land, Article IV, for the minimum lot size for a major subdivision. Any major subdivision in an R-20 District must follow the procedures for an open space subdivision if the original lot meets the minimum lot size required.
- [5] Use is allowed as a commercial component to an open space subdivision. (See § 157-21.)
- [6] Any dwelling unit may be converted, not replaced, provided that the lot shall contain at least 4,000 square feet per dwelling unit and a minimum floor area of 500 square feet per dwelling unit. Two-family dwellings shall be designed to look like single-family dwellings (i.e., the two-family dwelling should not look like it was designed to occupy more than 1 family). At a minimum, this shall mean that only 1 entrance shall be visible from a public street, and only 1 driveway shall exist with no on-street parking required for residents.
- [7] Two-family dwellings are permitted on lots with a density of 15,000 square feet per dwelling unit. The structures shall be designed to look like single-family dwellings (i.e., the two-family dwelling should not look like it was designed to occupy more than 1 family). At a minimum, this shall mean that only 1 entrance shall be visible from a public street, and only 1 driveway shall exist with no on-street parking required for residents. Single-family density shall be used for TDR. If two-family density is used, a two-family unit shall be built.
- [8] Farm animals permitted, provided that the tract upon which such animals are kept shall support a minimum land area of 100,000 square feet. In no instance shall the shelters and pens or runs used to contain said animals be closer than 100 feet to any property boundary.
- [9] Use is allowed on the portion of the lot that is behind the principal structure, provided the following standards are met. Chickens: No more than 6 chickens and no roosters, with 3 square feet of chicken coop and 20 square feet of a fenced enclosure yard per chicken; all coops and enclosures shall be 20 feet from any property line. Sheep or goats: 1 animal per 10,000 square feet of lot area, with a maximum of 6 animals; 10 square feet of shelter and 30 square feet of a fenced enclosure yard per animal; all shelters and enclosures shall be 30 feet from any property line.
- [10] Permitted only if operated as a customary home occupation (refer to definition in § 170-6B).
- [11] The utility facility shall be appropriately fenced to protect the public. Landscaping materials shall be required to provide a visual screen from any structures and storage within.
- [12] Roadside farm stands shall be set back a minimum of 20 feet from all abutting vehicular rights-of-way. The area of any building associated with the roadside farm stand shall not be greater than 200 square feet in area, and shall be considered an accessory structure if a residence is also located on the property. The total of the display area and building area shall not exceed 600 square feet. Off-street parking shall be provided in the amount of 1 off-street parking space per 250 sq. ft. of display and building area, and all required parking spaces shall have safe access to and from a public street. A certificate of use issued by the Zoning Administrator and a driveway permit shall be required in all cases.
- [13] Veterinary office and animal hospital uses are allowed as a commercial component to an open space subdivision. (See § 157-21.) Shelters and runs used to house and/or contain animals shall be

ZONING

no closer than 100 feet to any property line and must support a minimum tract size of 100,000 square feet.

Special Exception Criteria [see § 170-59C(3) for additional regulations]

Assisted Living Facility:

- A. The facility shall be serviced by municipal sewer.
- B. The density per unit requirement is 5,000 square feet of lot area in the R-20 District.
- C. Parking lots and service areas are screened from abutting residential uses.
- D. The facility shall obtain a license from the State of New Hampshire.

Congregate Care Facility: Congregate care facility is allowed as a special exception in accordance with the density and provisions stated below:

- A. In the R-20 District at 1 unit per 5,000 sq. ft. of land.
- B. Provided that parking and service areas are screened from abutting residential uses.

Continuing Care Community Facility:

- A. The facility shall be serviced by municipal sewer.
- B. The density per unit requirement is 5,000 square feet of lot area in the R-20 District.
- C. Parking lots and service areas are screened from abutting residential uses.
- D. The facility shall obtain a license from the State of New Hampshire.

Elderly Assisted Care Home: Elderly assisted care home is allowed by special exception in accordance with the densities and provisions stated below:

- A. Elderly assisted care home larger than 6 bedrooms shall meet the following density requirements: in the R-20 District at a density of 1 bedroom per 5,000 sq. ft.
- B. Provided that parking and service areas are screened from abutting residential uses.
- C. Notwithstanding the above requirements, the maximum number of bedrooms and residents allowed in a facility may be increased provided the increase is found not to be detrimental to the surrounding properties and conforms with parking standards in § 170-56 (Off-street parking). Furthermore, any increase to an existing structure must be contained within or contiguous to the original structure.

Helicopter Takeoffs and Landings: Helicopter takeoffs and landings are allowed as a special exception subject to the following conditions:

- A. There shall be a distance of 1,000 feet between any existing residential structure and any proposed helicopter landing pad.
- B. Except in the case of an emergency, no helicopter takeoffs or landings shall occur between the hours of 9:00 p.m. and 7:00 a.m.

- C. The facility shall be accessory to the principal use located on the lot.
- D. All facilities shall be located and designed so that the operation thereof will not adversely affect adjacent residential areas, particularly with respect to noise levels.
- E. The conditions for granting a special exception, contained in § 170-59C(3) must also be satisfied.

Nursing Home: Nursing home is allowed as a special exception in accordance with the density and provisions stated below:

- A. In the R-20 District at 1 unit per 5,000 sq. ft. of land.
- B. Provided that parking and service areas are screened from abutting residential uses.