

EXHIBIT A



*Ritzville Downtown Historic District and
Historic Preservation Overlay*

Design Guidelines

Prepared by the

Ritzville Historic Preservation Commission

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Brief History of Ritzville

Located in the heart of Washington's wheat country, Ritzville is a community with a rich pioneer heritage. Its location was once a part of a vast ocean of rippling bunchgrass and sagebrush from horizon to horizon that served as a randomly used crossing for bands of Northwestern Native Americans.

Change began with the arrival of the area's first permanent settlers who came by wagon in 1878. However, it was with the coming of immigrants in the early 1880s – including a large contingent of Germans who left Russia rather than be conscripted in to the Russian army – that the area's legacy with wheat began. The arrival of the railroad in 1881-82 provided access to eastern markets and subsequently, Ritzville's growth accelerated.

Soon, Ritzville became a growing livestock and wheat shipping center. In those early days Ritzville bustled with settlers, cattlemen, tradesmen, merchants, wagons, steam locomotives and livestock wandered about its main street. It was a true, spirited western pioneer town. Even after a fire destroyed most of its business district in 1888, the town bounced back. It incorporated as Ritzville (named after Phillip Ritz, an early pioneer) in December of the same year.

Through the 1880s and 1890s there were both boom and bust times, but by the early 1900s, Ritzville shipped more wheat than any other inland wheat port in the world. This was a time of prosperity when many fine homes and much of the business district were constructed. With the passing time, the flavor of the community as a pioneer town survived and much of the original character remains intact.

The overall architecture of its historic district is essentially early 1900s. With its National Register designation in 1992, several business owners began the process of restoration. Restoration is in the early stages and ongoing, which underscores the value of Design Guidelines for the Ritzville Downtown Historic District, hereinafter referred to as the Ritzville Downtown Historic District (RDHD).

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Chapter 1: The Ritzville Historic Preservation Commission

1.1 Background

The Ritzville Historic Preservation Commission (RHPC) was formed on January 21, 1992, with the passage of City Ordinance #856. The purpose of the Commission is to provide for the identification, enhancement, perpetuation and use of the historic resources within the City of Ritzville.

The City of Ritzville became a Certified Local Government in June 1992. Local governments that establish a historic preservation program meeting federal and state standards are eligible to apply to the State Historic Preservation Officer (SHPO) for certification. A local government that receives such certification is known as a “Certified Local Government” or “CLG.” Responsibilities of a CLG include maintaining a historic preservation commission, surveying local historic properties, enforcing state or local preservation laws, and providing for public participation.

The Certified Local Government Program helps local governments to actively participate in preserving Washington’s irreplaceable historic and cultural resources as assets for the future. This unique nationwide program of financial and technical assistance was established by the National Historic Preservation Act. In Washington, it is implemented and administered by the Department of Archaeology and Historic Preservation (DAHP).

Obtaining status as a CLG may help a local government encourage, develop, and maintain its local preservation efforts in coordination with its development plans. In addition, CLGs may apply for special grants from the SHPO; receive recognition for their preservation expertise by local, state, and federal agencies; obtain technical assistance and training from the SHPO; participate in the review of nominations to the National Register of Historic Places; participate in the national historic preservation assistance network; regularly exchange information with the SHPO; and participate in statewide preservation programs and planning.

1.2 Vision of the Ritzville Historic Preservation Commission

The Ritzville Historic Preservation Commission is committed to protect and enhance the character of the Ritzville Downtown Historic District consistent with the history and tradition that is Ritzville.

1.3 Mission of the Ritzville Historic Preservation Commission

(City of Ritzville Code Chapter 1.46)

- **Safeguard the heritage** of the City as presented by those buildings, sites, and districts which reflect significant elements of the City's history;
- **Strengthen the economic vitality** of the City of Ritzville by promoting the stabilization and improvement of property values in historic areas and by encouraging new building and development that will be harmonious with existing historic buildings and areas;
- **Foster civic pride** in the accomplishments of the past and a sense of identity based on the City's history;
- **Protect and enhance the City's ability to attract tourists and visitors**, thereby stimulating the local economy;
- **Assist, encourage, and provide incentives** to private property owners for conservation, renovation, restoration, redevelopment, and use of historic buildings, district, neighborhoods, streets, and sites;
- **Promote and facilitate the early identification and resolution of conflicts** between the preservation of historic resources and alternative land uses; and
- **Conserve valuable material and energy resources** by ongoing use and maintenance of the existing environment.

1.4 Ritzville Historic Preservation Commission Members

The Ritzville Historic Preservation Commission meets on the first Thursday of each month at 7:00 p.m. at City Hall. There are five three-year term Commissioner positions.

1.5 Actions Subject to Review by Ritzville Historic Preservation Commission

The following actions within the Ritzville Downtown Historic District that require building permits shall be subject to the review of the Ritzville Historic Preservation Commission (RHPC).

1. Demolition of any building.*
2. Additions.
3. Construction.
4. Exterior reconstruction, alteration, restoration, remodel or repair.
5. Construction of driveways or parking pads greater than 100 square feet in area.
6. Modification, maintenance or installation of windows.
7. Replacement of any exterior elements.
8. Modification, maintenance or installation of siding on any building.
9. Modification, maintenance or installation of landscaping.
10. Signs

**Code Compliance* - Buildings destroyed may be replaced provided the city receives a notice of intent to replace the pre-existing structure within 120 days of the destruction.

1.6 Exceptions to Guidelines

Design guidelines in this ordinance shall be implemented fairly and uniformly by the Ritzville Historic Preservation Commission. In certain circumstances, however, an applicant can propose an alternative approach that meets the overall intent of the Ritzville Downtown Historic District and does not change a property from “contributing” status to “non-contributing” status. The following process shall be followed to grant an exception to any of the guidelines within the Ritzville Downtown Historic District.

1. An application for an exception shall be made in writing prior to consideration by the Ritzville Historic Preservation Commission. The application shall contain the following information:
 - a. The guidelines(s) that are proposed for deviation.
 - b. Written documentation demonstrating why the proposed exception will not negatively impact the Ritzville Downtown Historic District or surrounding property.
 - c. Drawings and/or illustrations of the proposed construction.
2. The Ritzville Historic Preservation Commission shall review any exception and approve exceptions only when the following findings are made:
 - a. The proposed construction will not negatively impact district or surrounding property.
 - b. The proposed construction meets the intent of the district and the guidelines.
 - c. Granting of the exception does not change the property from “contributing” status to “non-contributing” status.

1.7 Appeals

Any decision of the Ritzville Historic Preservation Commission in applying the guidelines pursuant to this ordinance shall be subject to appeal to the Ritzville City Council.

All decisions of the Ritzville Historic Preservation Commission are subject to appeal in accordance with the Appeals Section of Chapter 1.46.190 of the Ritzville City Code.

Chapter 2: The Historic Register

2.1 National Register Districts

A National Register Historic District is a historic district that is listed in the National Register of Historic Places. The National Register is the country's official list of historic properties or resources worthy of preservation. It includes individual buildings, structures, sites and objects as well as historic districts that are considered to be significant in American history, architecture, engineering, archaeology and culture. The boundaries of the National District and the local district are not necessarily the same.

National Register listing recognizes the significance of properties and districts. By doing so, it identifies significant historic resources in a community. Boundaries of National Register Districts are tightly drawn to encompass only concentrated areas of historic buildings. Information compiled to nominate a historic district may be used in a variety of planning and development activities. National Register listing also makes available specific preservation incentives and provides a limited degree of protection via review of the effects of federally funded, licensed or permitted activities.

The National Register is maintained by the U.S. Department of the Interior. In the state of Washington, the National Register program is administered by the Department of Archaeology and Historic Preservation via the Office of Community Development, a Cabinet-level agency managed by a Governor-appointed director.

Districts and other properties are listed in the National Register through a multiple step process that involves identification, documentation, and evaluation. This process was completed by the Ritzville Historic Preservation Commission for the Ritzville Downtown Historic District in May 1993.

2.2 Ritzville’s Historic Register

Under the provisions of the Ritzville City Code Chapter 1.46, the Ritzville Historic Preservation Commission (RHPC) is directed to maintain a Ritzville Register of Historic Places. Currently the old Ritzville High School, the Adams County Courthouse, the Circle T Inn and the Ritzville Downtown Historic District have been nominated and placed on the Register.

Any building, structure, site, object or district may be placed on the Register if the RHPC determines that it meets the criteria or is approved by the Ritzville City Council. Any individual, group of property owners or members of the RHPC may nominate a building, structure, site, object or district for inclusion on the Ritzville Historic Register (RHR). The nomination is reviewed by the RHPC and a public meeting is held to hear comments. At the conclusion of the public comment, the RHPC deliberates and votes whether or not to approve the application. If the nomination is approved, it is forwarded to the Ritzville City Council for determination. With the Ritzville City Council’s approval, the property is placed on the RHR. A property may be added to the RHR without the owner’s consent; therefore, there is an appeal and resubmission process (see Fig. 1).

Once the application is approved by the RHPC and Ritzville City Council, the Planning Commission and Building Inspector are notified of the building’s status. The character of the property is now protected by city ordinance. Any material changes in appearance to the property require review and approval, based on conformance to local design guidelines, before a building permit is issued.

Review Process

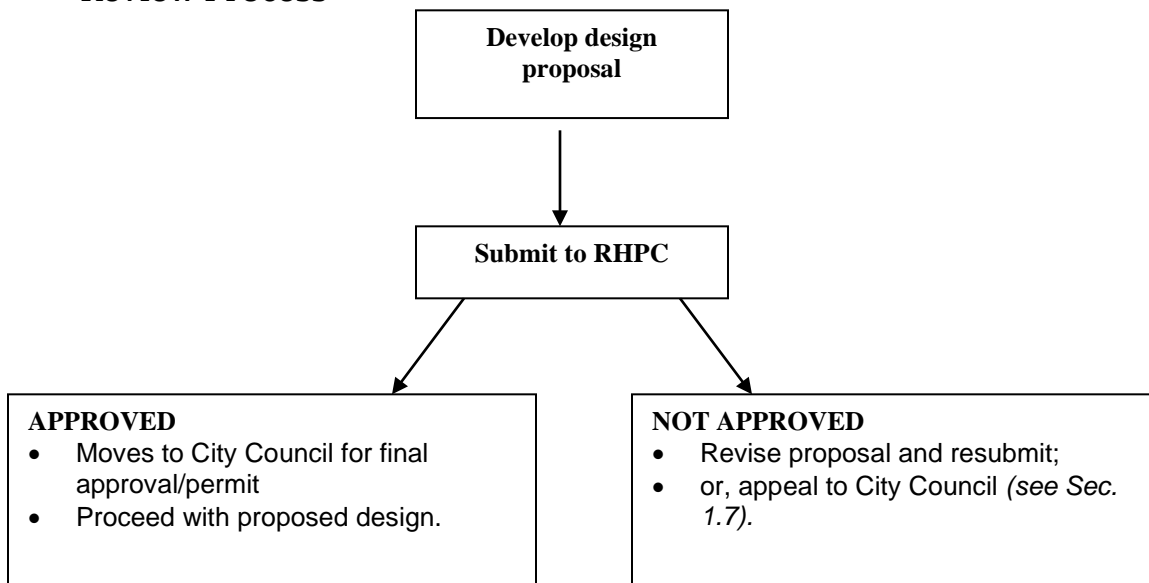


Figure 1. Review process diagram.

2.3 Ritzville Downtown Historic District Overlay Boundaries

The official Ritzville Downtown Historic District Map is hereby amended to include the Ritzville Downtown Historic District, the approximate boundaries of which are indicated in Figure 2. Any building on the National Registry or the Downtown Historic District shall abide by the design guidelines as amended. The Historic Overlay shall be the same as the national and local boundaries.

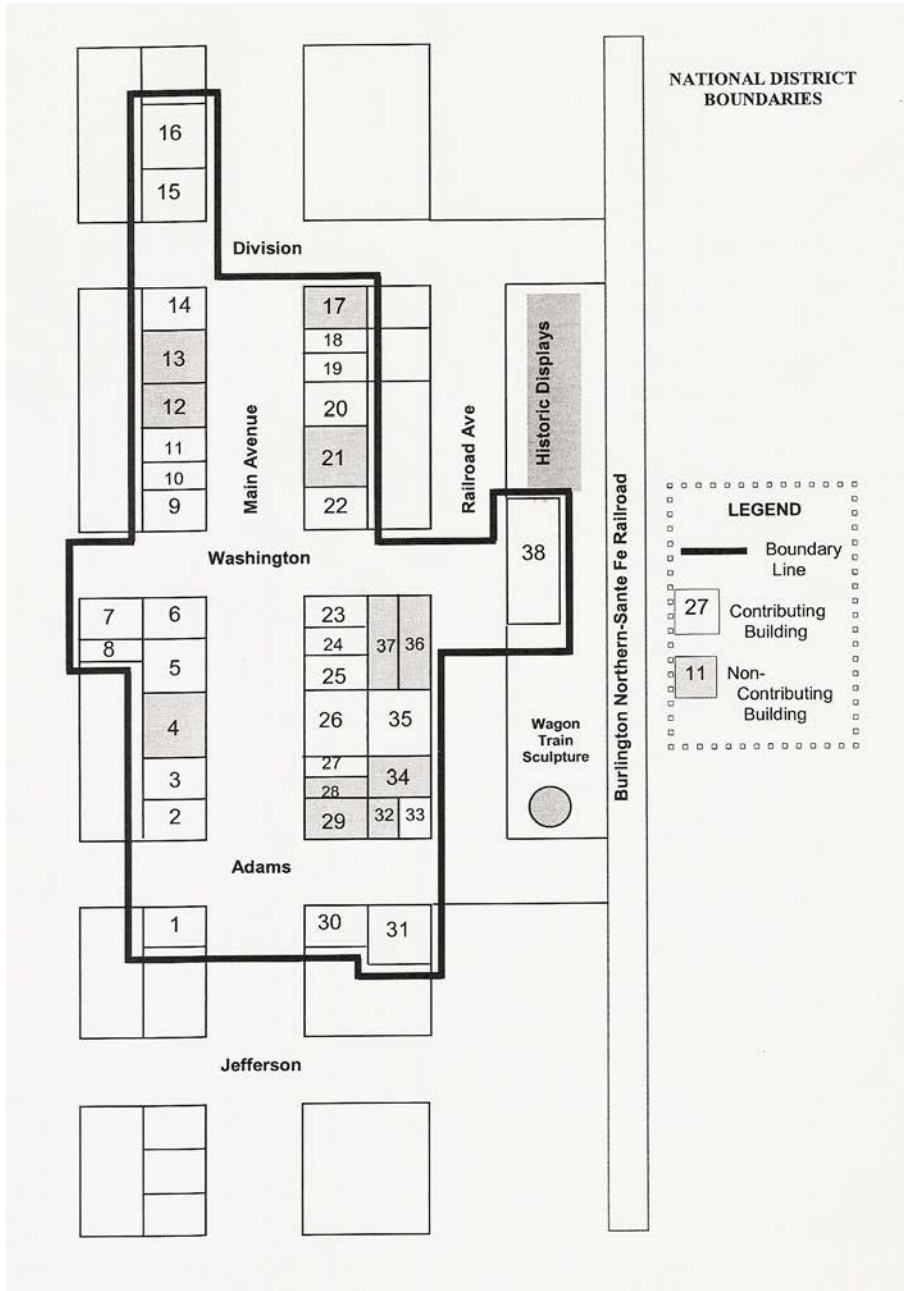


Figure 2. The map identifies the Ritzville Downtown Historic District Overlay boundaries. See Appendix for specific building data.

2.4 Contributing and Non-contributing Property

As part of the inventory of properties in the historic district, properties are designated as “contributing” or “non-contributing.” A contributing property meets the criteria for listing on a register of historic places and/or may add to the historic inventory of a district vs. “*non-contributing*,” which is a property that has been altered from original design and no longer retains its historic qualities. Some of the guidelines within this historic district are written specifically for ensuring that “contributing” properties maintain the “contributing” status. Conversely, guidelines are written in this historic district to ensure that a change to “non-contributing” property or new construction does not harm the district or adjoining “contributing” property.

2.5 Removal from Ritzville Downtown Historic District

Although the Ritzville Downtown Historic District and Design Guidelines were approved by the property owners, it is also recognized that some property owners may express an interest in being removed from the district. The following criteria and process shall guide any proposed boundary changes that may come from properties wishing to be removed from the district.

1. Property proposed for removal must provide:
 - A plan to show how exemption of property from the Ritzville Downtown Historic District will not harm the district.
 - This plan must be presented to the Ritzville Historic Preservation Commission for recommendation to the City of Ritzville Planning Commission.
 - The plan must address issues including, but is not limited to:
 - Adequate **transition buffers** if change of use or new construction is in the plan,
 - Meet all existing building and landscape codes,
 - Must be compatible in scale to properties adjacent, etc.
2. If removal is approved, a **Development Agreement** addressing the issues in the Property’s plan must be signed and recorded with auditor. The agreement is binding. Recording charges shall be paid for by the property owner.

Chapter 3: About Design Guidelines

3.1 How to Use the Guidelines

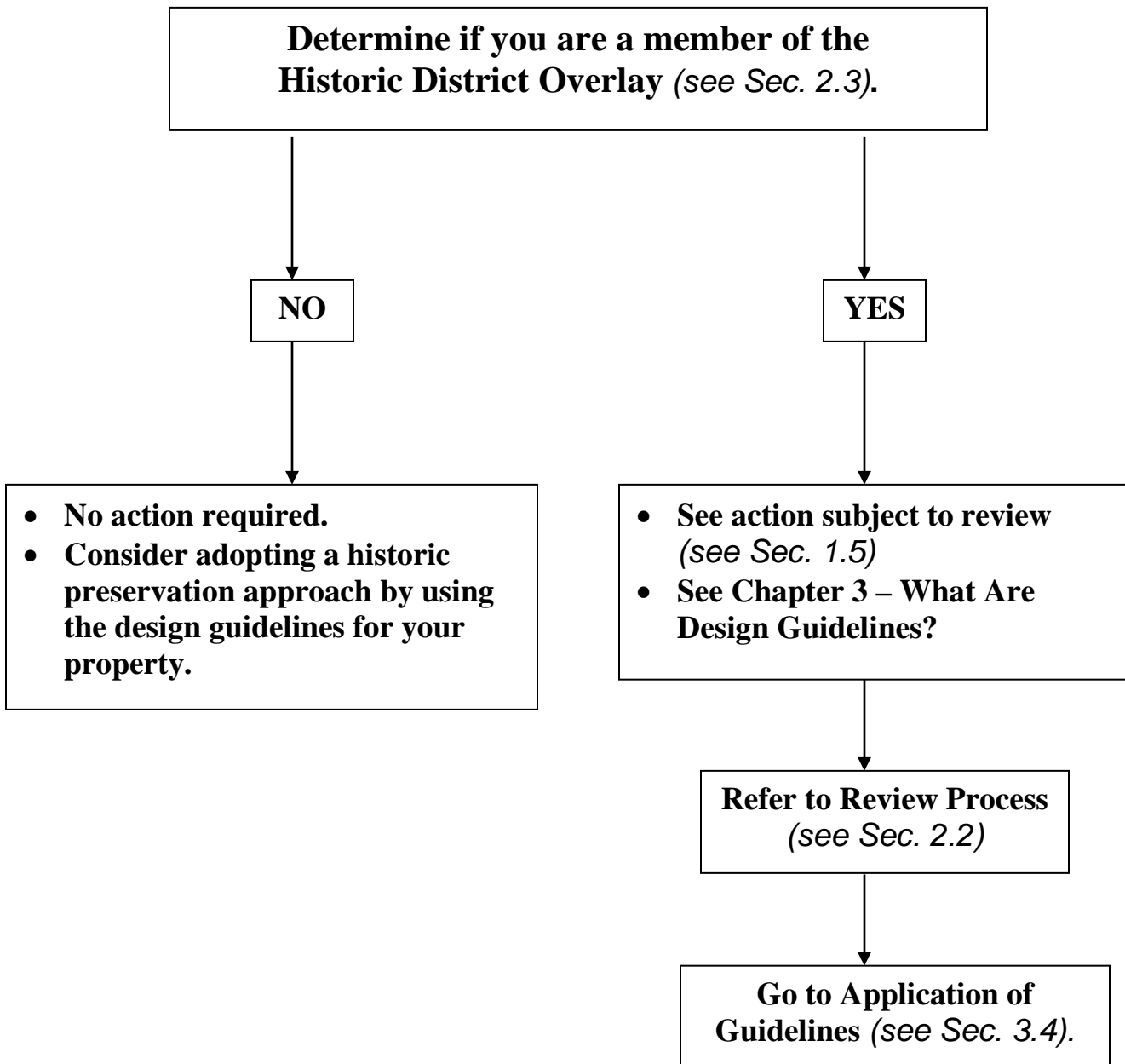


Figure 3 – How to use the guidelines.

3.2 What are Design Guidelines?

Design guidelines provide a basis for making decisions about the appropriate treatments of historic resources and compatible new construction. They also serve as a planning tool for property owners and design professionals who seek to make improvements that may affect historic resources.

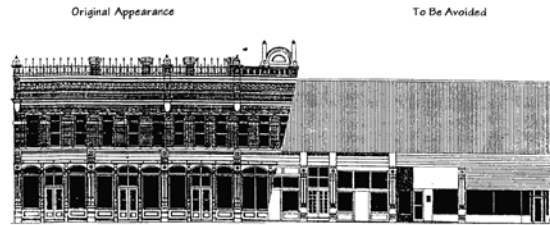


Figure 4. Original design from the 1880s can convey Ritzville's heritage. Guidelines can assist property owners in deciding how to make improvements.

Design guidelines can:

- Improve the quality of physical changes
- Protect the value of investment
- Protect existing architectural character
- Act as a base for objective decision-making
- Increase public awareness of architectural quality
- Prevent incompatible new construction

Design guidelines cannot:

- Regulate growth
- Control non-exterior changes
- Guarantee good design

3.3 Purpose

The purpose of the design guidelines for the Ritzville Downtown Historic District is to preserve and protect the original character and integrity of its historic buildings, sites, landscapes and distinct sense of neighborhood.

3.4 Application of Guidelines

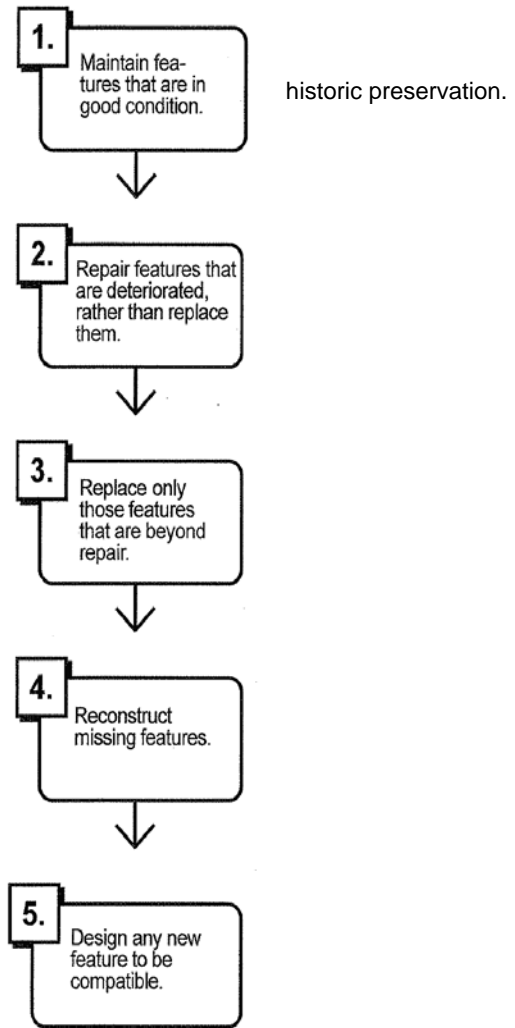
The applicability of individual guidelines in this district can be divided into three types of development:

- 1) New construction;
- 2) Alterations or additions to contributing historic structures; and
- 3) Alterations or additions to non-contributing structures.

While many of the design guidelines may be applicable to all three types of development, some may only apply to alterations or additions to historic structures. The Ritzville Historic Preservation Commission shall take into consideration the type of property and the overall impact on the district in review of development applications and application of these guidelines. The matrix of guidelines identifies whether the guidelines are applicable to these three types of development and shall be applied accordingly.

3.5 Sequence of Preservation

Figure 5. (Right) Illustration of sequence toward



3.6 Guiding Standards

Development within the district, shall be guided by the Secretary of Interior Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings which are hereby adopted by reference, including without limitation the following:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

In those instances not covered by the criteria outlined in this code, the Secretary of Interior's standards apply.

Chapter 4: Building Form

4.1 Alignment and Orientation

Intent: To preserve the continuity and cohesive building practices, alignment of buildings shall be upheld. In the Ritzville Downtown Historic District, the buildings historically orient to the street rather than to the rear yard or interior side yard. The intent of preserving the structures in the historic district will be to contribute to a unified façade that parallels the street edge.

- Primary entrances and large windows face the street.
- As the downtown district was developed, no setbacks were required; however, all the buildings conformed to an alignment with the street.

To preserve the continuity and cohesive building practices, the alignment of buildings at the sidewalk edge will be maintained or enhanced.

- Locate the front building wall at the sidewalk line.
- If an existing building is set back from the sidewalk, use landscape elements to define the sidewalk edge.

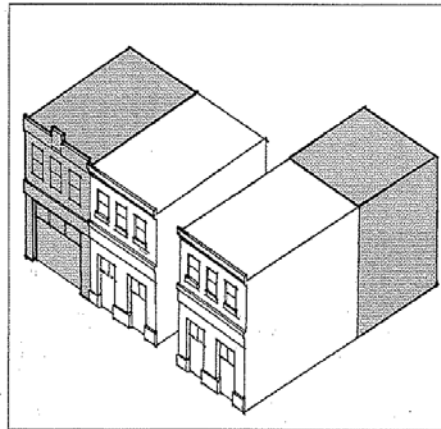


Figure 6. Aligned buildings provide a consistent sidewalk line.

4.2 Height

Intent: The intent of preserving the current character of building heights in the Ritzville Downtown Historic District is to maintain a strong sense of similarity in scale. To preserve the continuity and cohesive building practices, the traditional range of building heights on the block shall be maintained.

- Large buildings shall include variation in wall plane and the overall building height will be articulated with offsets, structural delineation, exterior trim and/or awnings to provide visual interest at street level.
- Traditional floor heights will be expressed with horizontal moldings, alignment of windows and other architectural details.
- Buildings are one to three stories in height with taller buildings located near intersections.
- Upper stories may be added but shall be set back from existing/original façade to maintain architectural integrity of the original building.
- Variations in wall plane and architectural delineations shall reflect the scale and massing of historic buildings.
- Floor-to-floor heights shall appear to be similar to those seen traditionally. In particular, the windows shall maintain a consistent scale and location on the wall plane.



Figure 7. The Weiland Building (left) and the August Krause Building are prime examples of maintaining original character with similar scale/building heights.

4.3 Width

Intent: To preserve the continuity and cohesive building practices, buildings shall appear similar in width to those seen historically in the block.

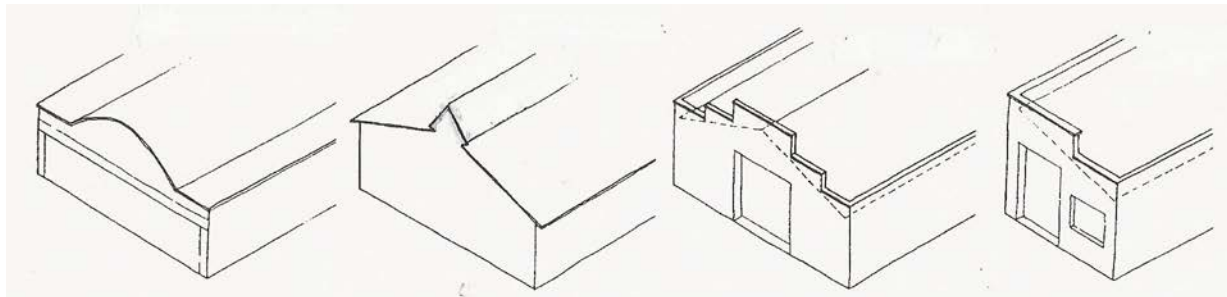
- Traditionally, buildings were built in the 25- to 50-foot increments. Buildings will reflect this pattern.
- A new building shall align at the front lot line and be built out to the full width of the parcel (i.e., to the side lot lines). Although small gaps can occur between some structures, gaps will be considered an exception.

4.4 Roof Form

Intent: The intent of a roof expression is to ensure that rooflines present a distinct profile and appearance for the building and express the neighborhood character of the Ritzville Downtown Historic District.

To preserve the appearance for the building and express the neighborhood character:

- Commercial buildings shall include extended parapets and projecting cornices to create a prominent edge when viewed against the sky. Sloping roof elements are allowed but not required.
- Flat, unembellished parapets shall not be permitted.



Rooftop mechanical and communications equipment will be screened from the ground level of nearby streets and residential areas.

- Mechanical equipment shall be screened by extended parapet walls or other roof forms that are integrated with the architecture of the building.
- Painting rooftop mechanical equipment, erecting fences and using mansard-type roofs are not acceptable methods of screening rooftop equipment.
- Cell phone transmission equipment shall be integrated with the design of the roofs, rather than being simply attached to the roof-deck.

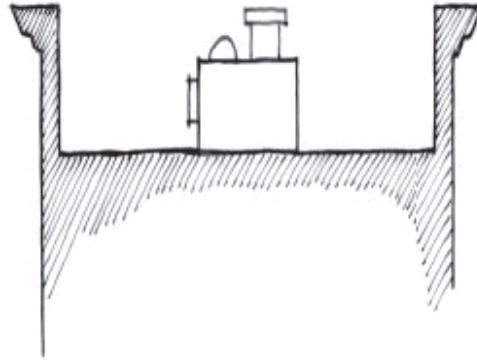


Figure 9. Parapet shall be tall enough to obscure mechanical equipment.

4.5 Additions and Structural Alterations

Intent: The front façade of a building is the most important contribution to the historic character of the district. Building additions will stay within the original architectural character, color, mass, scale and materials.

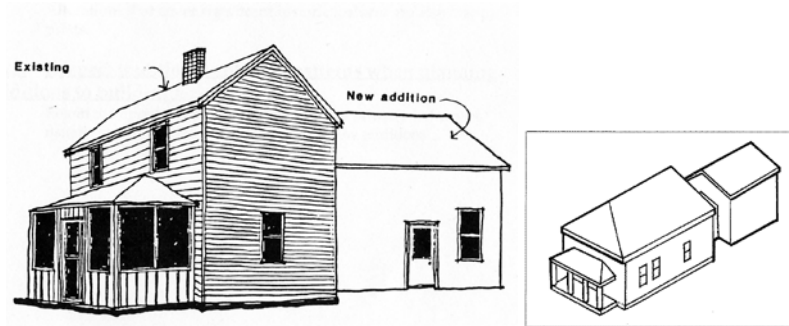


Figure 10. Minimal visibility is the goal of placing additions to the rear of the current and historic building.

Additions and structural alterations shall be limited to the rear and side yards where they are minimally visible from the street. Additions will be designed to have the least impact upon character defining features. The relationship of height to width of new additions and their sub-elements, such as windows and doors, and of alterations will be compatible with the character of the surrounding Ritzville Downtown Historic District. The relationship of wall to window shall also be compatible with related elements of the building and with historic character of the surrounding Ritzville Downtown Historic District.

Primary entrances to buildings should be oriented to the street rather than to the rear yard or interior side yard. Blank facades without windows will not be used. Original entrances to buildings, front porches and projecting features, such as balconies, bays and dormer windows shall be retained or restored. New accessory structures that can be seen, entirely or partially, from the public street should also use the style, colors and materials of the existing building.

The materials and construction details used in new construction and remodeling projects shall be sensitive to the surrounding historic character of the district. Remodeling projects must respect the building's original architectural materials and details. New construction shall repeat some of the proportional scaling, materials and construction details seen in the historic buildings in the district.

Accessory buildings or those buildings secondary to the primary structure are often overlooked. Many accessory buildings in the Ritzville Downtown Historic District were designed as a part of the primary structure, often constructed in duplicate. Respecting the historic accessory buildings and their use is an important aspect of the district and maintaining them shall be a priority.

4.6 Alleys

Intent: Dumpsters, loading docks and recycling storage areas are concerns. Adequate space for service areas will be visually minimized and screened from public view.

- Locate service areas away from major pedestrian routes; typically place them at the rear of a building when feasible.
- Where dumpsters are located near the side walk or are visible from nearby traffic, they shall be effectively screened from view with landscaping or an enclosure, as appropriate.
- Where an alley or service area exists that is presently not screened or landscaped, implement a landscaping program or an infill option that relates to the surrounding historic context.
- All improvements, additions or alterations to an alley space shall follow the requirements of the Ritzville Downtown Historic District design guidelines.

Chapter 5: Openings

5.1 Windows and Doors

Intent: Historic windows and doors significantly affect the character of a structure and will be preserved. Windows and doors give the scale to buildings and provide visual interest to the compositions of individual facades. Distinct window and door designs help define many historic building styles. Windows are often inset into relatively deep openings or they have surroundings casings and sash components that have a substantial dimension that cast shadows which also contribute to the character of the historic style.

- Preserve the position, number, size and arrangement of historic windows and doors in a building.
- Preserve the functional and decorative features of an historic window or door.
- Repair wood features by patching, piecing-in, consolidating or otherwise reinforcing the wood.
- A new or replacement window or door should match the appearance of the original.
- Maintain a historic ratio of window storefront openings to solid wall.
- Installing window air-conditioners in windows on building fronts is not permitted.
- Maintain recessed entries where they are found.

Many of the most defining features of an historic structure are tied to the windows and entries of the front façade. Windows and doors are important elements in the composition of a building and are typically highlighted or accented. Windows are the “eyes” of a building. Certain, and often specific, styles of both windows and doors reflect the style of the architecture.



Figure 11. The Ritzville Trading Company and the Ritzville Hotel provide examples of original window detailing in the Ritzville Downtown Historic District.

5.2 Entrances

Intent: Prominent pedestrian entrances ensure that building entrances are welcoming to pedestrians, easily identifiable and accessible from streets and sidewalks. To maintain visual prominence, the principal entry to the building shall be marked by at least one element from each of the following groups (*See Ch. 9 Definitions for more detail.):

Group A

- a) Recess*
- b) Overhang*
- c) Canopy*
- d) Portico*
- e) Porch*

Group B

- a) Clerestory*
- b) Sidelights flanking door
- c) Ornamental lighting fixtures
- d) Large textured entry door(s)

Group C

- a) Stone, masonry* or patterned tile paving in entry
- b) Ornamental building name or address
- c) Pots or planters with flowers
- d) Fixed seating

- A building shall have a clearly defined primary entrance. For most commercial buildings, this should be a recessed entry-way.
- Secondary public entrances to commercial spaces are also encouraged on larger buildings and on buildings that open to public open spaces/plazas.
- The primary entrance also shall be at or near street level.



Figure 12. The Andrew Carnegie Ritzville Public Library (left) is an example of a clearly-defined primary entrance. The Ritzville Hotel illustrates clearly-defined primary and secondary entries at street level.



Figure 13. Pedestrian entrances are easily identifiable through sidewalk layout, landscaping and entry signage.

A note about sidewalk coverings: To preserve the continuity and cohesive building practices, sidewalk coverings are encouraged. This can be combined with the method used to achieve visual prominence. Sidewalk coverings are intended to protect pedestrians from excess sun, wind, and rain. (*See Ch. 9 Definitions for more detail.)

- Canopies* or awnings are encouraged along pedestrian streets.
- Weather protection can be combined with the method used to achieve visual prominence at entrances.
- The minimum depth of any canopy or awning shall be 5 feet unless limited by the building code.
- The vertical dimension between the underside of a canopy or awning and the sidewalk shall be at least 8 feet and no more than 12 feet.
- Illumination within or below the awning shall be allowed only if the awning material is opaque.

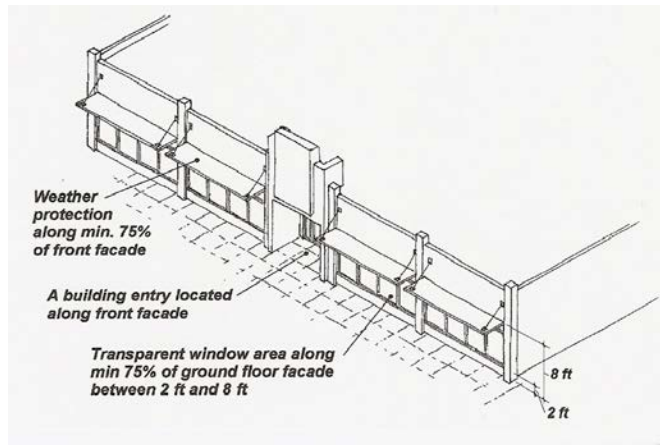


Figure 14. Sidewalk coverings are intended to protect pedestrians from exterior elements.

Chapter 6: Architectural Detail

6.1 Ground Level Detail

Intent: Ground level details are provided to reinforce the character of the streetscape by encouraging the greatest amount of visual interest along the ground level of buildings facing pedestrian streets.

To preserve the continuity and cohesive building practices, ground floor, street-facing façades of commercial and mixed-use buildings shall incorporate at least four of the following elements. (*See Ch. 9 Definitions for more detail.):

- a) Lighting or hanging baskets supported by ornamental brackets
- b) Medallions*
- c) Belt courses*
- d) Plinths* for columns
- e) Kick plate* for storefront window
- f) Projecting sills*
- g) Tile work
- h) Pedestrian scale* sign(s) painted on windows
- i) Planter box*

To preserve the continuity and cohesive building practices, building façades facing parking areas shall incorporate at least two of the above-mentioned items.



Figure 15. Ground level details reinforce the character of the streetscape.

6.2 Horizontal Rhythms

Intent: The Treatment of Blank Walls is to ensure that buildings do not display unembellished walls to the abutting street or public areas.

To preserve the continuity and cohesive building practices, where windows are not provided on walls (or portions of walls) facing streets or visible from residential areas, four or more of the following elements shall be incorporated (*see Ch. 9 Definitions for more detail.):

- a) Masonry* (but not flat concrete block)
- b) Concrete or masonry plinth* at wall base
- c) Belt courses* of a different texture and color
- d) Projecting cornice*
- e) Projecting metal canopy*
- f) Decorative tile work
- g) Trellis* containing planting
- h) Medallions*
- i) Opaque or translucent glass windows
- j) Artwork
- k) Vertical articulation
- l) Lighting fixtures
- m) Recesses*
- n) An architectural element not listed above, as approved, that meets the intent.

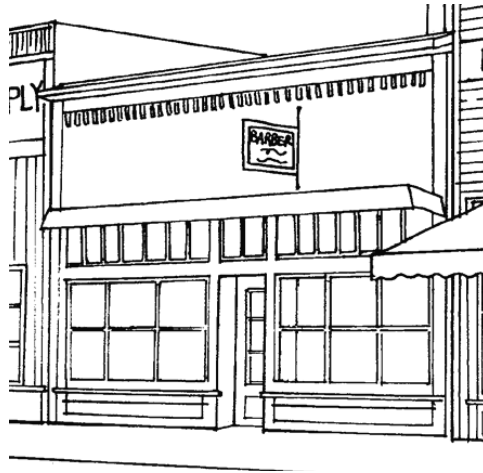


Figure 16. Opaque glass windows, a recessed entry, a projecting metal canopy, decorative tile work, raised signage and roofline masonry detail enhance the building's façade.

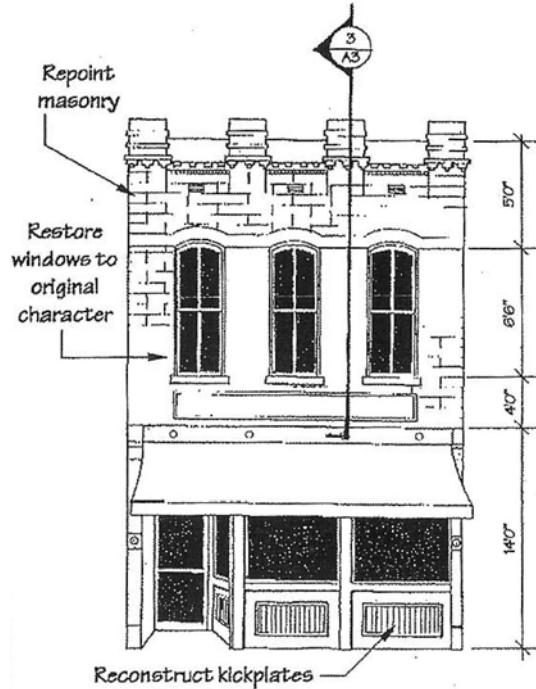


Figure 17. Variations in wall plane are articulated in the exterior trim, awnings and various architectural details.

6.3 Exterior Lighting

Intent: Exterior lighting is intended to accent architectural details, entrances and signs, illuminate sidewalks and pedestrian routes, illuminate parking and service areas for safety concerns and illuminate ATMs as allowed based on state and federal law.

Outdoor lighting is important to neighborhood and community safety. Night lighting is a deterrent to criminal activities. Encourage property owners to turn on lights at night along alleys, entries and exits.

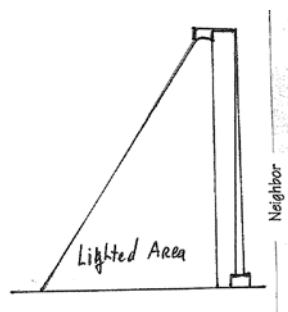


Figure 18. Lighting entries, exits and alleys deter criminal activity.

6.4 Disposal of Debris

Intent: Street furnishings are considered an integral component to the overall streetscape and serve as pedestrian amenities. Their design shall be coordinated with the benches used downtown.

- Trash receptacles as specified by the City of Ritzville should be installed in areas of high pedestrian activity, such as the downtown district street intersections.
- Alleyways, sidewalks and buildings' exterior sides shall be free of debris and disposable trash.

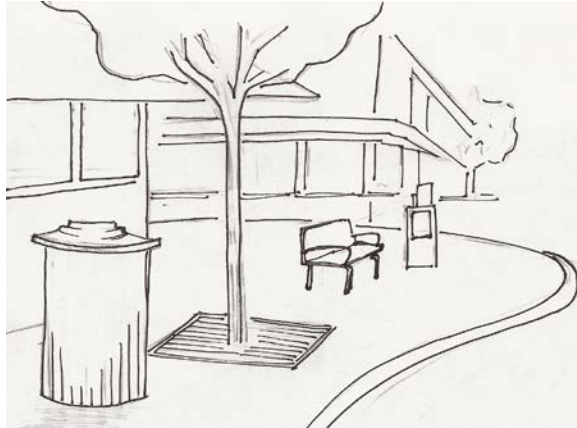


Figure 19. Well coordinated trash receptacles and pedestrian friendly furnishings can contribute to the appeal of the Ritzville Downtown Historic District.

Chapter 7: Material Selection

7.1 Choosing Appropriate Materials

Intent: Building material of new structures shall contribute to the visual continuity of the area.

To preserve the visual continuity of the Ritzville Downtown Historic District:

- Traditionally, a limited palette of building materials was used in the area – primarily brick and stone. Brick and stone are the dominant materials and their use in the new construction is preferred.
- Exterior insulation finish system (EIFS) and similar synthetic materials are unacceptable primary building materials; and
- Reflective steel and glass is also unacceptable.
- Materials shall appear to be similar to those used traditionally to establish a sense of visual continuity.
- A matte, or non-reflective, finish is preferred for a large expanse of wall.
- New materials may also be appropriate when they relate to the scale, durability, color and texture of the predominant materials of this area.

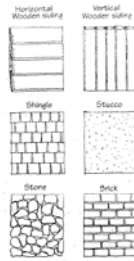


Figure 20. Materials used should traditionally be found in the Ritzville Downtown Historic District.

7.2 Exterior Siding

Intent: Siding materials used on buildings and additions shall be consistent with predominant materials used on buildings of similar architectural style.

Horizontal board siding, stucco and brick are the common building material throughout the Ritzville Downtown Historic District. Restoration of original colors, or colors appropriate to the style and era of the building, is required. Original siding materials should be maintained. Materials used on additions will match or be compatible with the predominant materials used on the original structure.

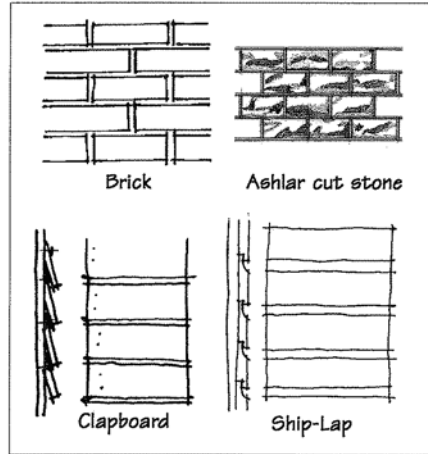


Figure 21. Brick, Stone, Clapboard, Ship-Lap and Stucco are just a few of the building materials found throughout the Ritzville Downtown Historic District.

7.3 Foundations

Masonry and brick details are common in the historic areas of the city. They are used in the foundation, porch, around windows and doors and chimneys of masonry materials, such as ornamental concrete blocks, poured concrete with a stucco wash or stone.

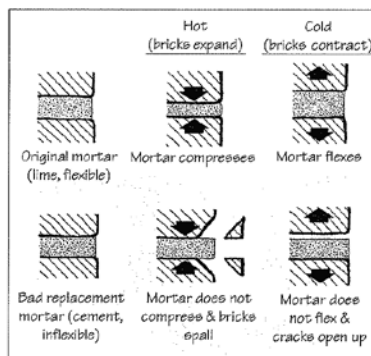


Figure 22. Common masonry and brick construction details found in historic areas.

Chapter 8: Appendix

1. Ritzville Public Library 302 W. Main
2. Ritzville Hotel 220 W. Main
3. G. H. Lemman Building 216 W. Main
4. *
5. F. G. Spanjer Building 204 W. Main
6. Ritzville Trading Company..... 202 W. Main
7. Ritzville Trading Company..... 201 W. Broadway
8. Ritzville Trading Company 203 W. Broadway
9. H. E. Gritman Building 118 & 119 W. Main
10. Wm. Snyder Building 116 W. Main
11. O. R. Haight Building 114 W. Main
12. *
13. *
14. Blackmer Building 102 & 104 W. Main
15. Pioneer State Bank..... 101 E. Main
16. Ritz Theater 107 E. Main
17. *
18. Weiland Building..... 105 W. Main
19. August Krause Building 107 W. Main
20. Thom Building..... 109 & 111 W. Main
21. *
22. N. H. Greene Building..... 119 W. Main
23. German American Bank 201 W. Main
24. Orris Dorman Building 205 W. Main
25. A. F. Rosenoff Building..... 207 W. Main
26. W. C. Reeder Building 209 W. Main
27. Fred B. Shepley Building 213 W. Main
28. *
29. *
30. Adams County Bank 301 W. Main
31. Richter Building..... 101 & 103 N. Adams
32. *
33. E. D. Gilson Building..... 218 W. Railroad
34. *
35. Kalkwarf Hardware Store..... 201 W. Railroad
36. *
37. *
38. Northern Pacific Railway Depot Railroad & Washington

* Non-Contributing Building

Chapter 9: Definitions

Adaptive Use

When converting a building for a use other than its original purpose is considered to be adaptive use.

Belt Course

A horizontal band or course, as of stone, projecting beyond or flush with the face of a building, often molded and sometimes richly carved.

Canopy

A covering (usually of cloth) that serves as a roof to shelter an area from the weather.

Clerestory Windows

Window openings in buildings that are well above ground level that provide daylight.

A *clerestory* is a high wall with a band of narrow windows along the very top. The clerestory wall usually rises above adjoining roofs.

Cornice

A horizontal molding projecting along the top of a wall, building, etc.

Courtyard

A landscaped space enclosed on at least three sides by a single structure.

Kick Plate

A protective plate that is attached to the bottom of a door or other location likely to be damaged or worn from contact; also used as a decorative element.

Maintenance

Work that often focuses on keeping the property in good working condition by repairing features as deterioration becomes apparent, using procedures that retain the original character and finish of the features is considered maintenance. Property owners are strongly encouraged to maintain their property in good condition so that more aggressive measures of rehabilitation, restoration or reconstruction are not needed.

Masonry

The stone or brick parts of a building or other structure.

Medallions

A medallion is a piece of metal, usually carved or engraved; circular (like a coin) and large, that is used as a work of art.

Overhang

The volume that tips the balance between the demand and the supply toward demand lagging supply; That portion of the roof structure that extends beyond the exterior walls of a building; To hang across or beyond, as on a building.

Parapet

A parapet is a wall-like barrier at the edge of a roof or structure. It may serve to prevent dangerous rooflines.

Planter Box

A flower box or object that contains live flowers, usually affixed outside or just below a window.

Plinth

A block or slab on which a pedestal, column or statue is placed. The base block at the intersection of the baseboard, and the vertical trim around an opening. A continuous course of stones supporting a wall, also called *plinth course*. A square base as for a vase.

Porch

Covered projecting entrance.

Portico

A series of columns or arches in front of a building, generally as a covered walkway.

Preservation

Keeping an existing building in its current state by a careful program of maintenance and repair is preservation. It will often include repair and stabilization of materials and features in addition to regularly scheduled maintenance.

Primary Façade

The façade containing the building or individual business' primary entrance.

Sill

The horizontal member at the bottom of a window or door.

Recesses

An enclosure that is set back or indented, a small concavity.

Rehabilitation

Rehabilitation is the process of returning a property to a condition, which makes a contemporary use possible while still preserving those portions or features of the property that are significant to its historic, architectural and cultural values. Rehabilitation may include the adaptive use of the building and constructing additions.

Remodeling

To remake or to make over the design image of a building is to remodel it. The appearance is changed by removing original detail and by adding new features that are out of character with the original.

Renovation

To renovate is to improve by repairing or reviving. Renovation is similar to rehabilitation, although it includes the use of some new materials and elements. The basic character and significant details are respected and preserved.

Restoration

Restoration is the reproduction of the original appearance of the building as it looked at a particular moment in time. Restoration is commonly used when a building is missing specific details that determine the building's significant character.

Scale, architectural

Scale is the perceived relative height and bulk of a building relative to that of neighboring buildings. A building's apparent height and bulk may be reduced by modulating facades.

Transition Buffer

Protecting the visual and physical area near the historic preservation district and changes to its streetscape, landscape or buildings that visually affect the historic preservation district to which it connects.

Transom Windows

A window (glass pane), usually rectangular, above a door that is usually hinged to a horizontal crosspiece over the door.

Trellis

A trellis is a structure, usually made from interwoven pieces of wood, bamboo or metal that is often made to support a climbing plant or plants.

Chapter 10: Reference Sources

Carnation Design Standards and Guidelines, 2005

Design Standards for the City of Ellensburg, 1998

Grandview Historic District Zoning Overlay, 2005

Greater East Wenatchee Urban Growth Area, Design Standards & Guidelines, 2006

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Ritzville Historic Downtown Walking Tour, 2009

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