

Section 3. FINDINGS. The Board of Commissioners adopts as its findings in support of this amendment as in Exhibit "B" attached and incorporated by reference herein.


Dated this 14 of May, 2008

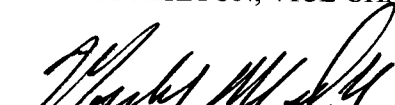
BOARD OF COUNTY COMMISSIONERS
OF DESCHUTES COUNTY, OREGON


DENNIS R. LUKE, CHAIR


TAMMY MELTON, VICE CHAIR

ATTEST:


Recording Secretary


MICHAEL M. DALY, COMMISSIONER

Date of 1st Reading: 28 day of April, 2008.


Date of 2nd Reading: 14 day of May, 2008.

Record of Adoption Vote

Commissioner	Yes	No	Abstained	Excused
Dennis R. Luke	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tammy Melton	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Michael M. Daly	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Effective date: 18 day of August, 2008.

ATTEST:


Recording Secretary

Chapter 18.12. ESTABLISHMENT OF ZONES

- 18.12.010. Establishment of Zones.**
- 18.12.020. Location of Zones.**
- 18.12.030. Zoning Map.**
- 18.12.040. Zone Boundaries.**

18.12.010. Establishment of Zones.

For the purpose of DCC Title 18, the following primary zones, combining zones, subzones and unincorporated community zone districts are hereby established:

A. Primary Zones.

Primary Zones	Abbreviations
Airport Development	AD
Exclusive Farm Use Zones	EFU
Flood Plain	FP
Forest Use	F1
Forest Use	F2
Multiple Use Agriculture	MUA10
Open Space and Conservation	OS&C
Rural Commercial	RC
Rural Industrial	RI
Rural Residential	RR10
Surface Mining	SM

B. Combining Zones.

Combining Zones	Abbreviations
Airport-Height Safety	AHS
Conventional Housing	CH
Destination Resort	DR
Landscape Management	LM
Limited Use	LU
Sensitive Bird & Mammal Habitat	SBMH
Surface Mining Impact Area	SMIA
Wildlife Area	WA

C. Exclusive Farm Use Subzones.

Exclusive Farm Use Subzones	Abbreviations
Alfalfa	EFUAL
Horse Ridge East	EFUHR
La Pine	EFULA
Lower Bridge	EFULB
Sisters/Cloverdale	EFUSC
Terrebonne	EFUTE
Tumalo/Redmond/Bend	EFUTRB

D. Unincorporated Community Zones.

1. La Pine Urban Unincorporated Community.

La Pine Planning Area	Abbreviations
Commercial District	LPC
Community Facility District	LPCF
Community Facility Limited District	LPCFL
Flood Plain District	LPFP
Industrial District	LPI
Business Park District	LPBP
Residential District	LPR
Sewer Treatment District	LPST
Neighborhood Planning Area	Abbreviations
Neighborhood Community Facility	LPNCF
Neighborhood Community Facility Limited	LPNCFL
Neighborhood Commercial	LPNC
Neighborhood Park	LPNPK
Neighborhood Open Space	LPNO
Neighborhood Residential Center	LPNRC
Neighborhood Residential General	LPNRG
Wickiup Planning Area	Abbreviation
Wickiup Commercial/Residential	LPWCR

2. Sunriver Urban Unincorporated Community.

Sunriver Districts	Abbreviations
Airport District	SUA
Business Park District	SUBP
Commercial District	SUC
Community General District	SUCG
Community Limited District	SUCL
Community Neighborhood District	SUCN
Community Recreation District	SUCR
Flood Plain Combining District	SUFP
Forest District	SUF
Multiple Family Residential District	SURM
Resort District	SUR
Resort Equestrian District	SURE
Resort Golf Course District	SURG
Resort Marina District	SURA
Resort Nature Center District	SURN
Single Family Residential District	SURS
Utility District	SUU

3. Terrebonne Rural Community.

Terrebonne Districts	Abbreviations
Commercial District	TeC
Commercial-Rural District	TeCR
Residential District	TeR
Residential-5 acre minimum District	TeR5

4. Tumalo Rural Community.

Tumalo Districts	Abbreviations
Commercial District	TuC
Flood Plain District	TuFP
Industrial District	TuI
Residential District	TuR
Residential-5 acre minimum District	TuR5
Research & Development District	TuRE

5. Rural Service Center.

Commercial/Mixed Use Districts	Abbreviations
Brothers, Hampton, Millican, Whistlestop, Wildhunt	RSC-C/M (B,H,M,W,W)
Alfalfa	RSC-C/M (A)
Alfalfa Residential	RSC-R(A)
Brothers Open Space	RSC-OS

6. Black Butte Ranch Resort Community.

Black Butte Ranch District	Abbreviations
Resort District	BBRR
Surface Mining District/Limited Use	BBRSM
Utility District/Limited Use	BBRU

7. Inn of the 7th Mountain/Widgi Creek Resort Community

Inn of the 7 th Mountain/ Widgi Creek District	Abbreviations
Resort District	SMWCR
Widgi Creek Residential District	WCR

(Ord 2008-017 § 1, 2008, Ord. 2006-008 §2, 2006; Ord. 2005-016 §1, 2005, Ord. 2002-019 §1, 2002, Ord. 2002-001, §1, 2002, Ord. 2001-048 §4, 2001, Ord. 2001-044 §2, 2001; Ord. 98-063 §2, 1998; Ord. 96-003 §4, 1996; Ord. 92-025 §5, 1992)

18.12.020. Location of Zones.

The boundaries for the zones listed in DCC Title 18 are indicated on the Deschutes County Zoning Map which is hereby adopted by reference. The boundaries shall be modified subject to zoning map amendments which shall be adopted by reference.
(Ord. 91-020 §1, 1991)

18.12.030. Zoning map.

A zoning map amendment adopted by DCC 18.12.020, above, or by an amendment thereto shall be prepared by authority of the Planning Director or Hearings Body or Board of County Commissioners. The map or map amendment shall be dated with the effective date of the order or

ordinance that adopts the map or map amendment. The Deschutes County zoning map exists in official replica form as an electronic map layer within the County geographic information system. The official copy of the electronic version of the zoning map shall contain a legal description of the area to be amended, a map reflecting the previous zoning and a map of the amendment printed onto permanent media, recorded and maintained in the office of the County Clerk. An ~~certified~~ original printed version of the adopted map or map amendment signed by the Board of County Commissioners shall be maintained in the office of the County Clerk. ~~as long as the map adoption order or ordinance remains in effect. A copy of all map amendments, which shall contain a legal description of the area to be amended as well as a map reflecting the previous zoning and a map of the amendment, shall be maintained in the office of the County Clerk.~~
(Ord 2008-017 § 1, 2008, Ord. 91-020 §1, 1991)

18.12.040. Zone Boundaries.

Unless otherwise specified, zone boundaries are section lines, subdivision lines, lot lines, center lines of street or railroad rights of way, water courses, ridges or rimrocks, other readily recognizable or identifiable natural features, or the extension of such lines. In case of any dispute regarding the zoning classification of property subject to the County code, the original ordinance with map exhibit contained in the official county records will control. Whenever uncertainty exists as to the boundary of a zone as shown on the zoning map or amendment thereto, the following rules shall apply:

- A. Where a boundary line is indicated as following a street, alley, canal or railroad right of way, it shall be construed as following the centerline of such right of way.
- B. Where a boundary line follows or approximately coincides with a section lines or division thereof, lot or property ownership line, it shall be construed as following such line.
- C. If a zone boundary as shown on the zoning map divides a lot or parcel between two zones, the entire lot or parcel shall be deemed to be in the zone in which the greater area of the lot or parcel lies, provided that this adjustment involves a distance not exceeding 100 feet from the mapped zone boundary. DCC Title 18 does not apply to areas zoned flood plain.

(Ord 2008-017 § 1, 2008, Ord. 91-020 §1, 1991; Ord. 91-005 §3, 1991; Ord. 80-206 §2, 1980)