

Appendix 'B'

R-4 Campus Mixed Use Development: Design Guidelines

Middletown Township, Delaware County, PA



December 6, 2012

Revised: October 28, 2013

Sheets 9.1, 11.1 and 11.2

R-4 Campus Mixed Use Development: Design Guidelines

Middletown Township, Delaware County, PA

Outline of Contents:

1. Streetscape and Street Walls
2. Vehicular Circulation
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4. Public Open Space and Amenities
5. Building Frontages
6. Landscape and Lighting
7. Pedestrian Circulation
8. Utilities and Stormwater Management
9. Roadway Cross-Sections: Boulevard & Two-Way Street
- 9.1 Alley Cross-Sections: One-Way and Two-Way Travel
10. Site Details: Typical Residential Cluster
- 10.1 Site Details: Knee Wall
11. Revised Concept Plan

Notes:

- a. All Public Improvement Enhancements shall be subject to Township review and approval.
- b. All Public Improvement Enhancements shall be delineated on Preliminary and Final Subdivision and Land Development Plans, and shall be addressed in the Land Development Agreement and Public Improvements Security Agreement.

Streetscape and Street Walls

R-4 Campus Mixed Use Development: Design Guidelines

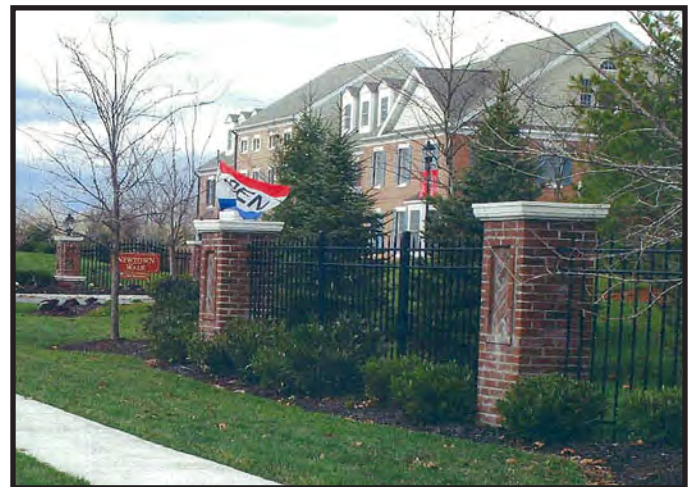
Middletown Township, Delaware County, PA



Streetscape with Street Wall formed by Retail Building located close to the sidewalk.

Legislative Intent:

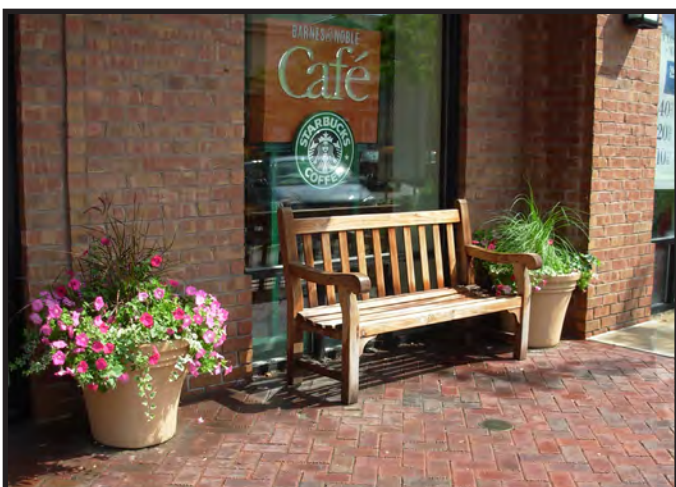
- 1.1 The Streetscape is intended to be formed by buildings located close to sidewalks.
- 1.2 The Streetscape is intended to be enhanced with such features as Street Trees, Street Lights, Sidewalks, and like-type amenities.
- 1.3 Whenever the Streetscape can not be formed by Buildings located close to Sidewalks, a Street Wall solution is intended to form a Street Edge.
- 1.4 Public Improvement Enhancements to the Streetscape are intended to provide additional neighborhood connectivity, minimize traffic impacts, and improve landscape aesthetics.



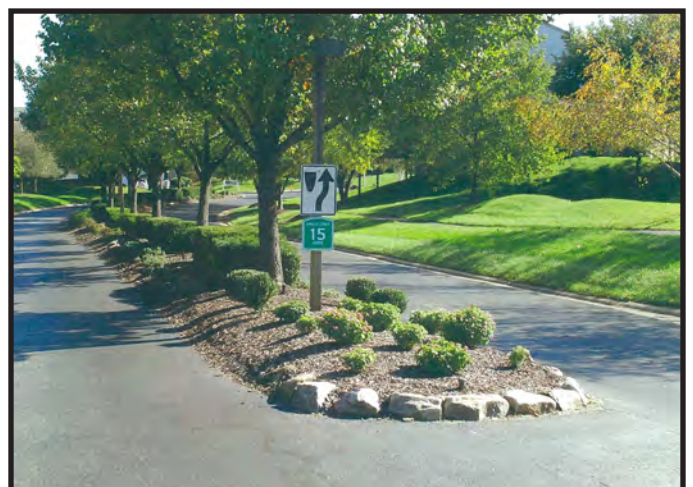
A Street Wall formed by a combination of Piers, Fences and Shrubs, where the building is not located close to the sidewalk.

Design Guidelines:

- 1.5 A Street Wall with buildings located close to Sidewalks shall be created.
- 1.6 Whenever buildings cannot form the Street Wall, a combination of piers, fences or walls, shrubs, and other landscaping shall form the Street Wall and screen parking.
- 1.7 Street Furniture with features similar to the overall neighborhood character shall be built and maintained.
- 1.8 If a Boulevard Configuration is utilized on main drives, it shall consist of a variety of plant materials, maintained to promote visibility.



Street Furniture such as Benches and Planters that enhance, and are consistent with, the overall neighborhood character.

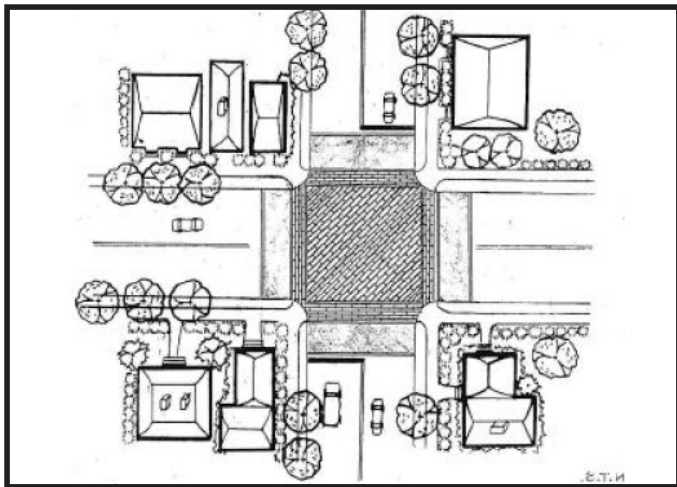


A Boulevard Configuration on a Main Drive, with a variety of plant materials and directional signage in a central median.

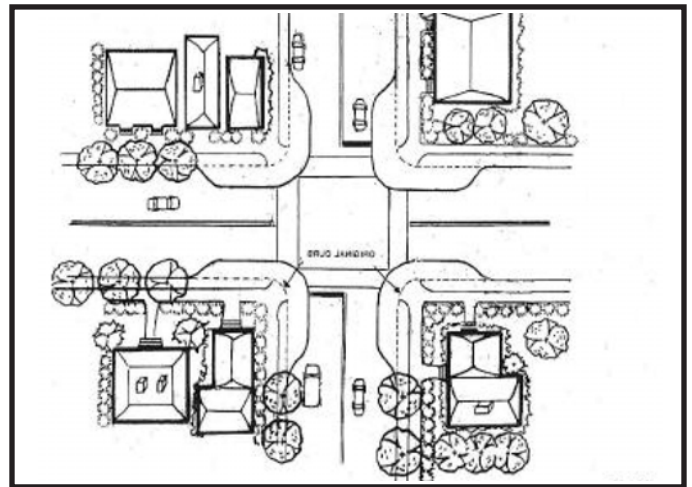
Vehicular Circulation

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Speed Table & Crosswalk at Street Intersection as traffic-calming devices.



Curb bulb-outs are an effective traffic-calming device, and help to define on-street parking.

Legislative Intent:

- 2.1 Traffic calming devices are intended to make a more pedestrian-friendly setting.
- 2.2 Off-street parking lots are intended to be screened from view.
- 2.3 Wayfinding signage is intended to aid in navigation for motorists.

Design Guidelines:

- 2.4 Traffic calming devices such as horizontal and vertical deflections in road geometry, speed tables, and/or curb bulb-outs shall be utilized.
- 2.5 Off-street parking visible from a street shall be screened with walls, fences, hedges and other landscaping at 30 inches in height.
- 2.6 Wayfinding Signage shall be installed and maintained in the R-4 District.



Brick Piers, Fence, and Shrubs as parking lot screening.



Wayfinding signage as a navigation aid to motorists.

Pedestrian Gathering Areas

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A Green with gazebo, shade trees, ornamental plantings, and lighting as a Pedestrian Gathering Area.



A Green Court as Pedestrian Gathering Area that provides central open space in contrast with adjacent homes.

Legislative Intent:

- 3.1 Pedestrian Gathering Areas are intended to provide viable opportunities to celebrate the public realm.
- 3.2 Pedestrian Gathering Areas are intended to enhance the appearance and pedestrian function of the R-4 District.
- 3.3 Pedestrian Gathering Areas are intended to provide opportunities for sitting to the maximum extent possible.

Design Guidelines:

- 3.4 Install and maintain shade trees, benches, plantings, and lighting in Greens and Green Courts to enhance attractiveness and safety.
- 3.5 Install and maintain decorative pavers, benches, sitting walls, shade trees, plantings, and lighting in Plazas and Pocket Parks to enhance attractiveness and safety.
- 3.6 Integrate Pedestrian Gathering Areas with the sidewalks and trails in the R-4 District.
- 3.7 Maintain Pedestrian Gathering Areas to provide year-round attractiveness.



Plaza as Pedestrian Gathering Area with fountain, benches, and plantings adjacent to a Green with "bookend" pergolas.



Pocket Park as a Pedestrian Gathering Area with brick pavers, benches, planters, and other plantings.

Public Open Space and Amenities

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Attractively designed and maintained Public Open Space area as a link between buildings.



A well-maintained Green.

Legislative Intent:

- 4.1 The spaces between buildings are intended to be connected to better enable pedestrian use and visual enjoyment.
- 4.2 Open spaces are intended to provide a distinctive contrast to building clusters.
- 4.3 Perpetual maintenance of all Public Open Space areas and common Amenities is intended to maintain quality control in the R-4 District.

Design Guidelines:

- 4.4 The massing of buildings shall be balanced with useful Public Open Space, in order to promote the amenities of light, air, and visual enjoyment.
- 4.5 Public Open Spaces, walkways, and view corridors shall be connected to better enable spaces to be used, accessed, and/or viewed.
- 4.6 Public Open Space and common Amenities, including areas otherwise kept in a natural state, shall be cleared of rubbish and debris, and painted, cleaned, etc.



Common amenities include benches, tables, gazebos, and the like.



Common Amenities include areas maintained in a natural state.

Building Frontages

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Facade and roof articulation, and variation in building color & materials create a compelling corner anchor.



Facade articulation and a variety of window styles and roof pitches create visual interest.

Legislative Intent:

- 5.1 Facade articulation, variation in roof lines, and vertical expression of buildings, is intended to promote consistency with the scale and proportion of traditional streetscapes and neighborhoods.
- 5.2 The appearance of Garage Doors is intended to be minimized by painting them non-white, preferably dark green, brown, taupe, terra cotta, black, etc, and recessing them under a balcony overhang, pent roof, or the like.

Design Guidelines:

- 5.3 A primarily vertical expression to buildings shall be created through the use of facade articulation in the form of windows, doors, pilasters, columns, colonnades, and the like.
- 5.4 Roof lines of buildings shall be varied through the use of dormers, gables, and changes in roof pitch, to the maximum extent possible.
- 5.5 Garage doors shall be a non-white color.
- 5.6 Plantings, low fences and low walls along driveways shall be installed and maintained to beautify the space in front of the front-loaded garages.



Variations in residential design create visual interest along the Streetscape.



Recessed, non-white garage door helps to minimize the appearance of the front-loaded garage.

Landscape and Lighting

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A variety of plantings and landscape features complement the building design and materials.



Street Trees and Decorative Lighting installed in a green strip along a residential cartway.

Legislative Intent:

- 6.1 Landscape features are intended to be designed to help achieve a balance between man-made and natural materials, objects, and spaces.
- 6.2 Street trees, shrubs, groundcovers, and perennials are intended to provide attractive layering and color in the R-4 District.
- 6.3 Pedestrian-scaled street lights are intended to provide a safe and attractive complement to the Streetscape.
- 6.4 Building lighting is intended to promote safety and security, and to complement the facade design.

Design Guidelines:

- 6.5 Building design shall be complemented with landscape features and materials.
- 6.6 A complete expression of design intent shall be created through the use of continuous materials and/or the massing of materials.
- 6.7 Plant materials shall be selected to be tolerant of prevailing climatic, hydrologic and soil conditions.
- 6.8 Pedestrian-scaled Street Lights shall be installed and maintained along both sides of all streets.
- 6.9 Building lighting shall promote safety and security, and complements the architecture.



Pedestrian-scaled, decorative lighting.



Wall lights complement the building architecture by accenting the piers.

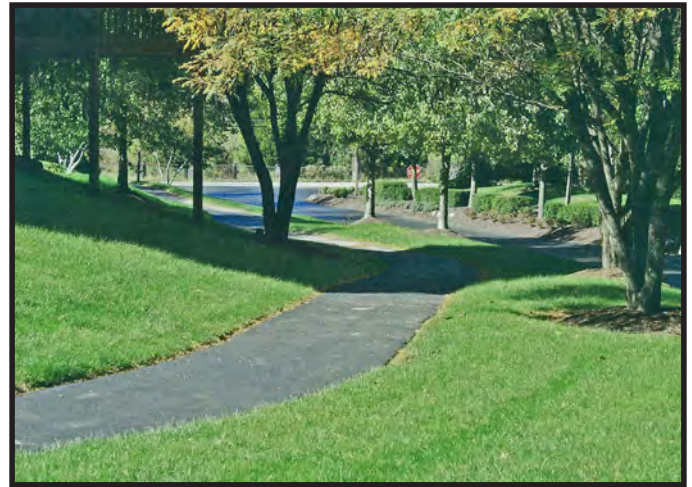
Pedestrian Circulation

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A sidewalk flanked by street trees and ornamental plantings.



A well-maintained sidewalk as part of a network of pedestrian connections.

Legislative Intent:

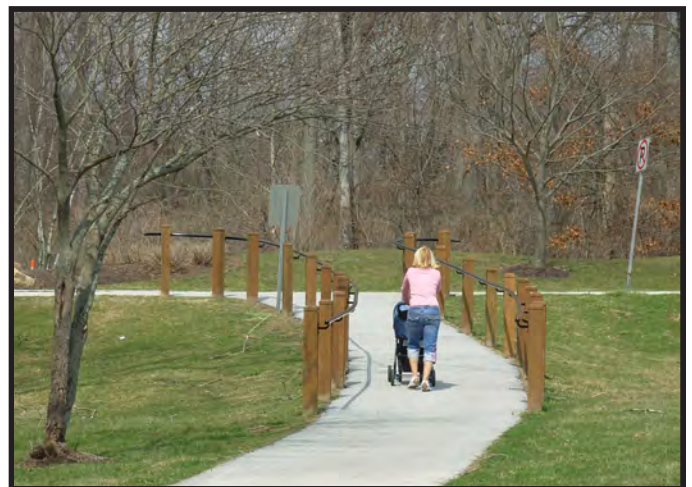
- 7.1 Development in the R-4 District is intended to promote and foster pedestrian connectivity and to encourage walking to the maximum extent possible.
- 7.2 Sidewalks and Crosswalks are intended to facilitate safe, secure, and convenient connections between destinations.
- 7.3 Public Trails are intended to provide a recreational amenity and to function as part of the network of trails in Middletown Township.

Design Guidelines:

- 7.4 Sidewalks at 4'-6" shall be built and maintained
- 7.5 Crosswalks shall be installed where sidewalks and trails cross all cartways and entrances to common parking areas.
- 7.6 A Trail system shall connect internal residential and non-residential destinations and existing Township-owned Open Space and/or trails on adjacent properties. The Trail shall be a minimum of eight (8) feet in width.
- 7.7 All sidewalks, trails, pathways, etc. shall be paved and ADA compliant.



A decorative crosswalk contrasts with the cartway surface in order to promote visibility.



A paved trail in a Common Open Space accommodates strollers and wheelchairs. Handrails are located adjacent to segments of sloping trail.

Utilities and Stormwater Management

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Attractively enclosed dumpster area.



A covered common mail area with community message board, bench, and integrated sitting walls.

Legislative Intent:

- 8.1 Dumpster enclosures and enclosures for common mailboxes, HVAC Units, Utility Boxes, and the like, are intended to be architecturally compatible with the buildings on a tract.
- 8.2 Stormwater Management systems are intended to be accommodated in context with the proposed environments of the R-4 District, and in accordance with the Middletown Township Stormwater Management Ordinance, Chapter 198.

Design Guidelines:

- 8.3 Accessory structures with architectural features similar to the overall neighborhood character shall be built and maintained.
- 8.4 Decorative enclosed dumpster areas, and enclosures for other utilities, shall be installed and maintained.
- 8.5 Common mail areas shall be within an attractive structure (such as shown above).
- 8.6 "Light imprint" stormwater management solutions shall be constructed and maintained, such as through the use of Porous Asphalt Pavement/Unit Pavers and naturalized Stormwater Basins.



Parking area surfaced with porous Unit Pavers.

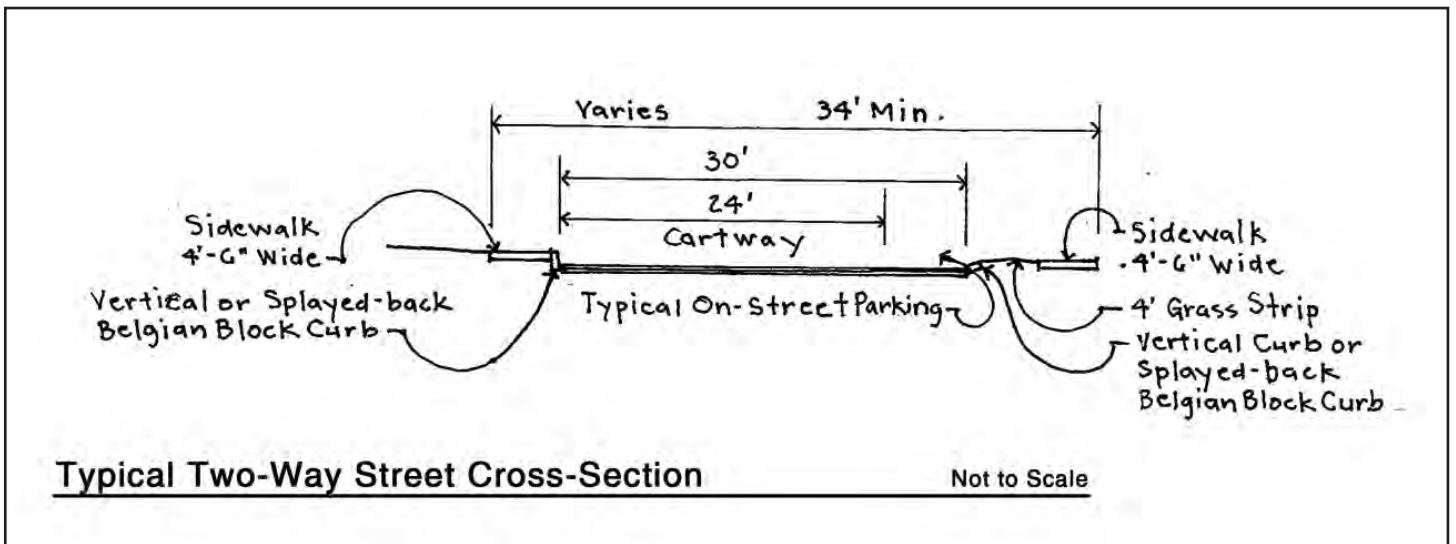
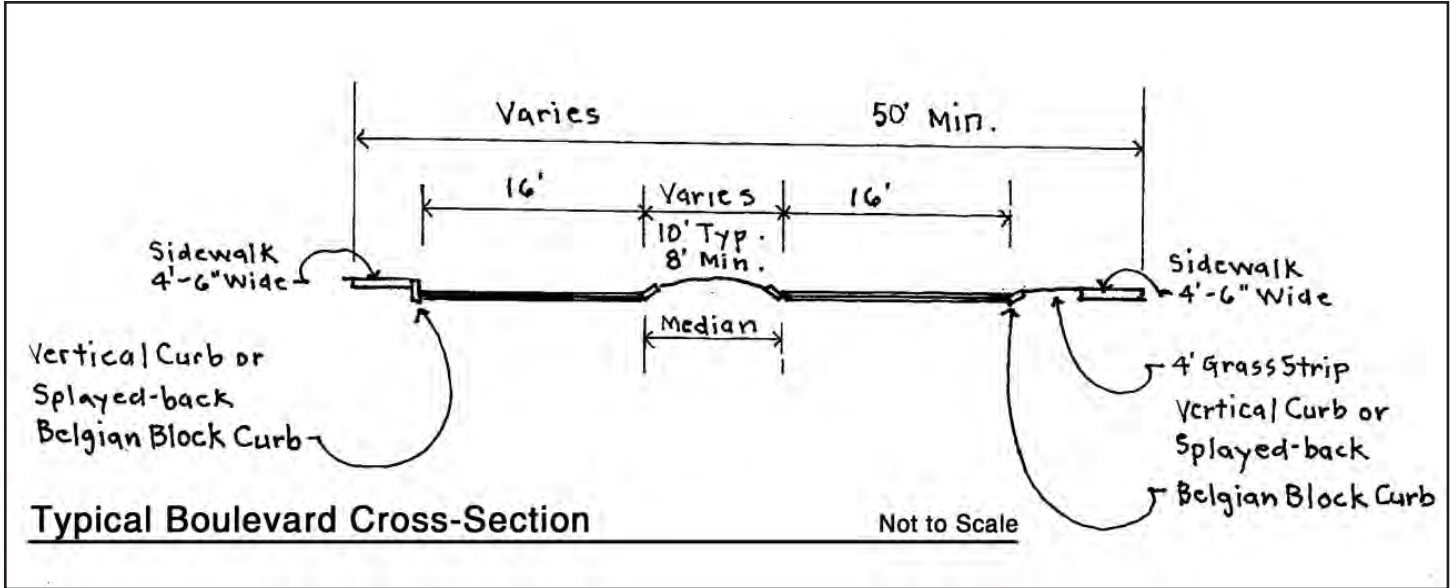


Naturalized Stormwater Basin with indigenous plants.

Roadway Cross-Sections: Street & Boulevard

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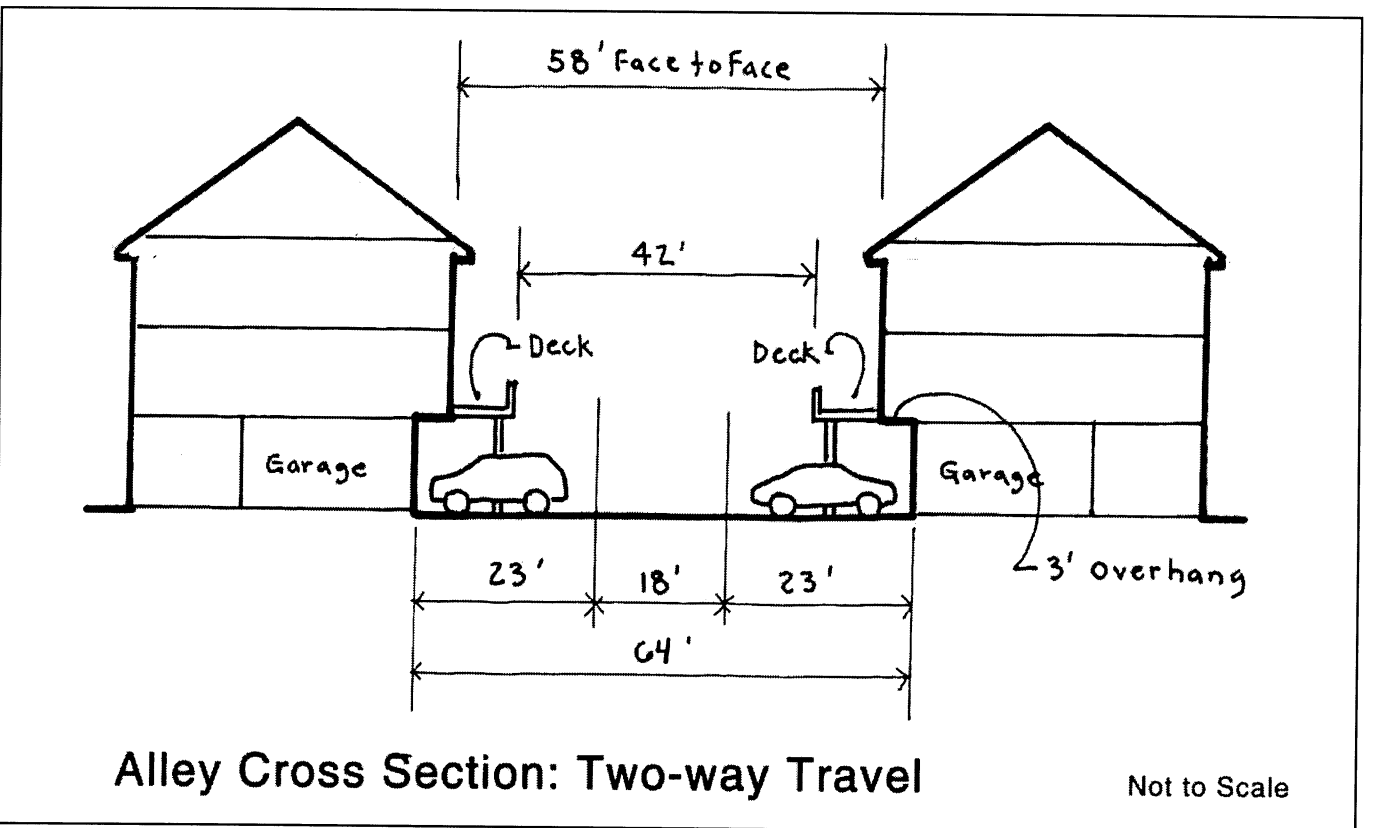
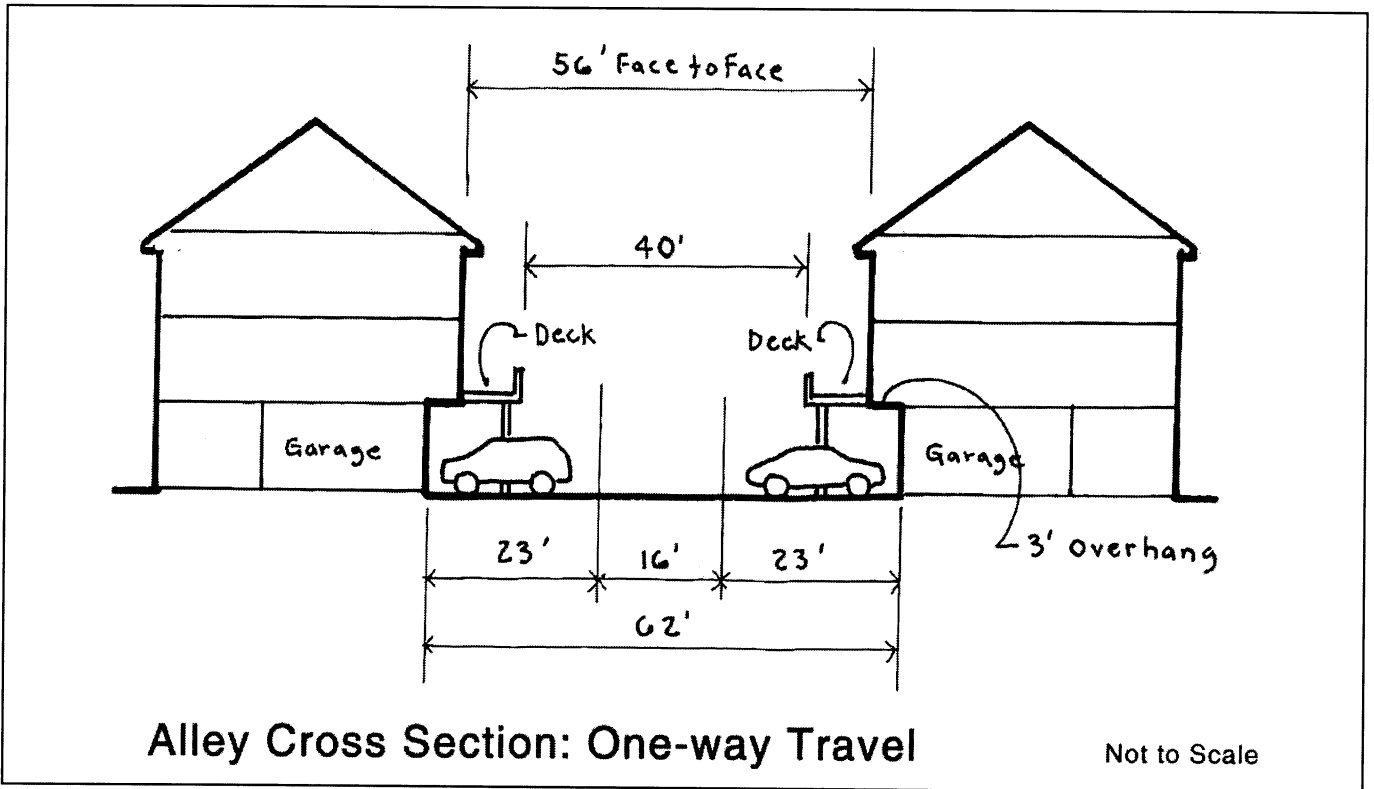
Middletown Township, Delaware County, PA



Alley Cross-Sections: One-Way & Two-Way Travel

R-4 Campus Mixed Use Development: Design Guidelines

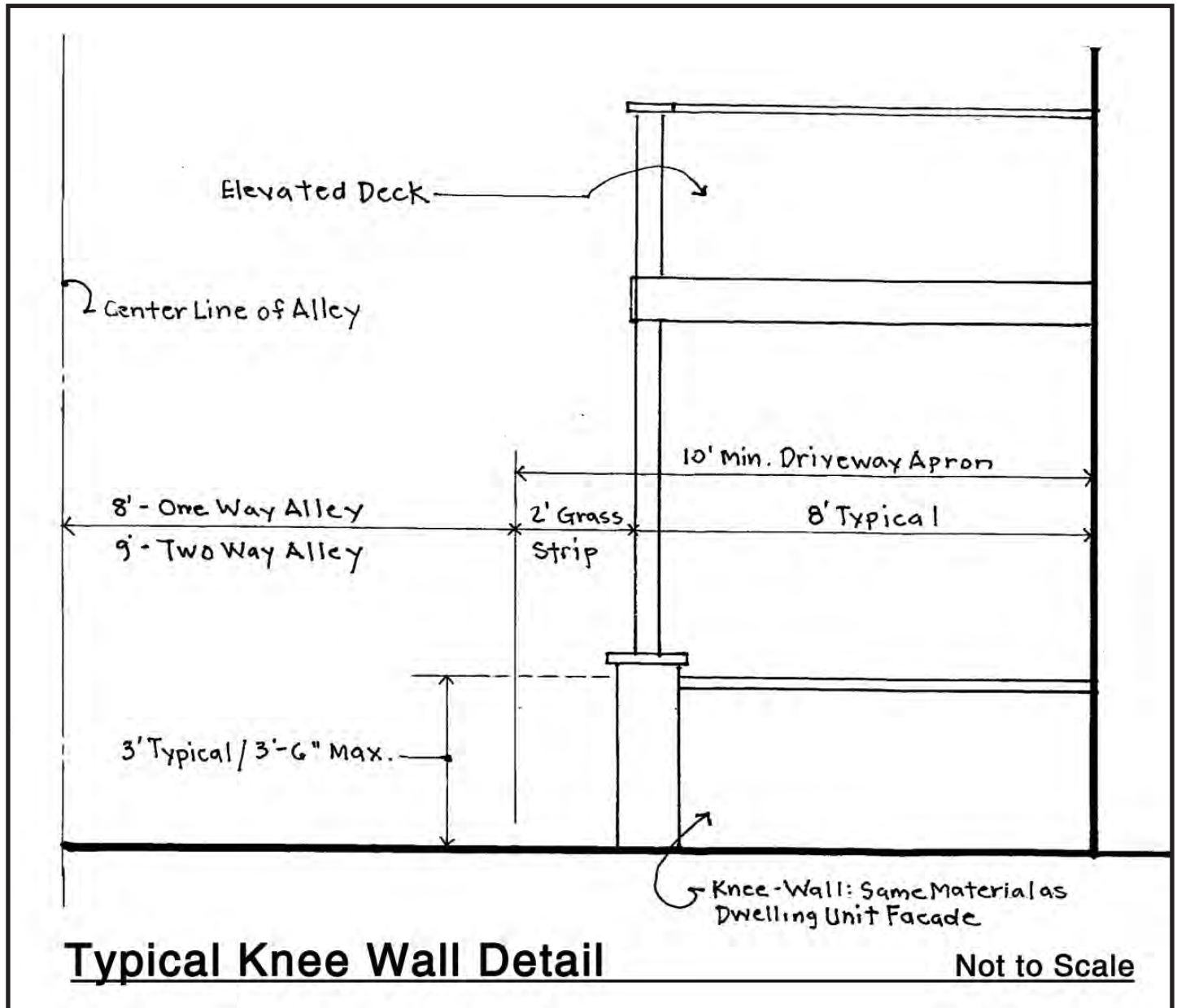
Middletown Township, Delaware County, PA



Site Details: Typical Knee Wall

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Revised Concept Plan (See Attached)

R-4 Campus Mixed Use Development: Design Guidelines
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State of Pennsylvania
County of Delaware
On this _____ day of _____ A.D. 2013, before me the subscriber, a Notary Public of the Commonwealth of Pennsylvania, residing in Delaware County, Pennsylvania, personally appears _____ LP, a Pennsylvania limited partnership, who being duly sworn according to law deposes and says that Plan was made at its direction, and acknowledges the same to be its Lot and Plan, and desires the same to be recorded according to law.

Witness my hand and seal the day and year above written.

_____, LP by its General Partner

NOTARY PUBLIC

My Commission Expires _____

By _____

President of _____

The owner(s) of the Commercial Section and the Residential Homeowners Association will be made aware of their obligation in perpetuity to maintain the Storm Sewer Network, The Underground Stormwater Detention Facilities and the Underground Stormwater Seepage Beds in working order at all times in accordance with Middletown Township Ordinance, and acknowledges the Stormwater Management facilities to be permanent fixtures that can be altered or removed only after approval of a revised Plan by Middletown Township. This acknowledgment and responsibility shall survive the sale of each of the properties and become the continuing obligation of all future Owners of the Commercial Section and the Residential Homeowners Association. The owners of Commercial Section and the Residential Homeowners Association also recognize that should they be unable or unwilling to maintain the proposed storm water management facilities in proper working order, that Middletown Township has the right but not the obligation, to make such repairs and lien the property in order to recoup all incurred expenses. Any revision to the approved drainage plan must be approved by Middletown Township, and a revised erosion and sediment control plan must be submitted to the Conservation District for a determination of adequacy.

Parking Requirements
Residential: A minimum overall parking ratio of 4.5 ps per DU.
Each DU shall have a minimum of 3 on-lot ps

Proposed Residential parking:
Two car garages: 211 x 2 = 422 ps
Driveway parking: 198 x 2 = 392 ps
Off Lot common Parking: = 128 ps
Off Lot Designated Parking: = 15 ps
Total parking spaces provided = 957 ps Proposed ratio 4.574 PS per DU

Required Commercial:
(1) Retail stores and warehouse membership clubs shall require one parking space for each 250 square feet of gross floor area, enclosed by a roof and four walls and heated;

Proposed commercial parking:
Retail Use 31,250 sf/250 = 125 ps
Total required ps = 125 ps
Total ps provided = 125 ps including 4 HC spaces - 2 for each building

Loading/unloading: The two Retail buildings will share a Loading/unloading space.

OPEN SPACE AREA TABLE

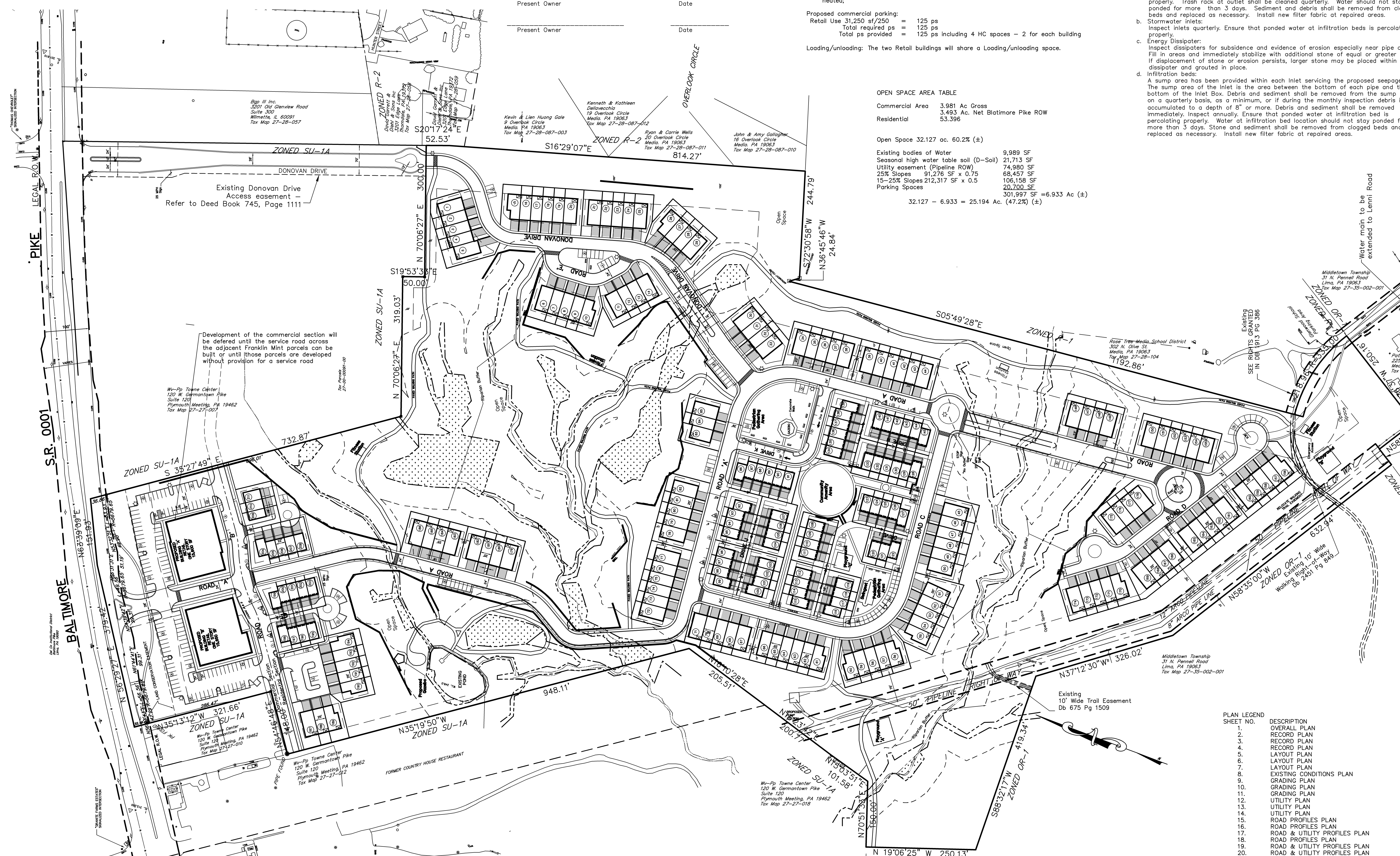
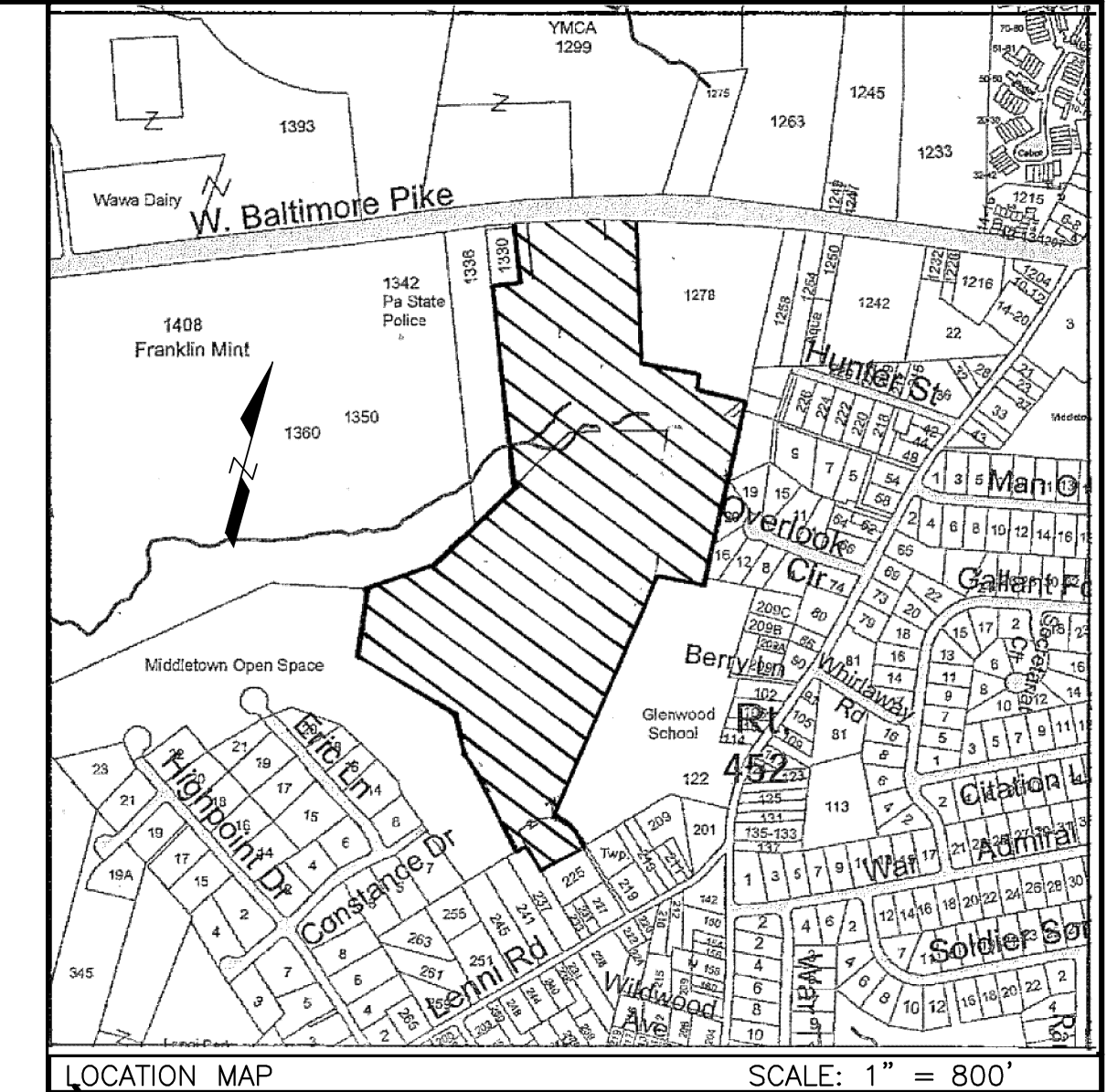
Commercial Area 3.981 Ac Gross
Residential 53.396
Total 57.377 Ac

Open Space 32,127 sq. ft. 60.2% (±)

Existing bodies of Water 9,989 SF
Seasonal high water table soil (D-Soil) 21,713 SF
Utility easement (Pipeline ROW) 74,980 SF
25% Slopes 91,276 SF x 0.75 68,457 SF
15-23% Slopes 212,317 SF x 0.5 106,158 SF
Parking Spaces 20,700 SF
Total 301,997 SF = 6.933 Ac (±)
32,127 - 6.933 = 25.194 Ac (47.2%) (±)

Post-construction Stormwater Management Notes:

- Post development stormwater management facilities at the property consist of the following:
A. Underground stormwater detention infiltration basin.
B. Stormwater inlets
C. Energy Dissipaters
D. Underground Seepage Beds.
- Maintenance responsibilities for stormwater management facilities located on the commercial tract shall be that of the owner(s) of the commercial section on which the facilities are located. The Maintenance responsibilities for the stormwater management facilities located within the residential development shall be that of the Residential Home Owners Association
- Maintenance program:
a. Underground Detention/Infiltration Basin:
Inspect inlets quarterly. Ensure that ponded water at infiltration beds is discharging properly. Trash rack at outlet shall be cleaned quarterly. Water should not stay ponded for more than 3 days. Sediment and debris shall be removed from clogged beds and replaced as necessary. Install new filter fabric at repaired areas.
b. Stormwater inlets:
Inspect inlets quarterly. Ensure that ponded water at infiltration beds is percolating properly.
c. Energy Dissipater:
Inspect dissipaters for subsidence and evidence of erosion especially near pipe outfall. Fill in areas and immediately stabilize with additional stone of equal or greater size. If displacement of stone or erosion persists, larger stone may be placed within dissipater and grouted in place.
d. Infiltration beds:
A sump area has been provided within each inlet servicing the proposed seepage bed. The sump area of the inlet is the area between the bottom of each pipe and the bottom of the inlet Box. Debris and sediment shall be removed from the sump area on a quarterly basis, as a minimum, or if during the monthly inspection debris is accumulated to a depth of 8" or more. Debris and sediment shall be removed immediately. Inspect annually. Ensure that ponded water at infiltration bed is percolating properly. Water at infiltration bed location should not stay ponded for more than 3 days. Stone and sediment shall be removed from clogged beds and replaced as necessary. Install new filter fabric at repaired areas.



Development of the commercial section will be deferred until the service road across the adjacent Franklin Mint parcels can be built or until those parcels are developed without provision for a service road

GENERAL NOTES

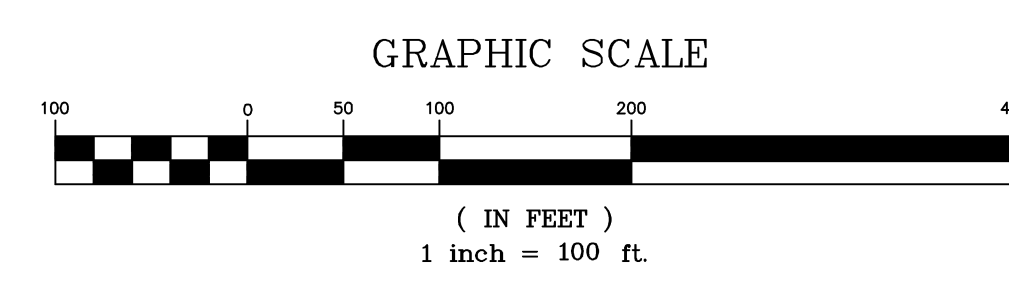
- Total Area = 57.380 Acres.
Net Area to R.O.W. Line of Baltimore Pike = 56.889 Acres
Tax Folio Number Area
27-00-0001-50 27-27-08 12,666 Ac
27-00-0004-00 27-27-09 4,539 Ac
27-00-0199-00 27-27-13 6,536 Ac
27-00-0005-00 27-27-11 33,128 Ac
56,889 Ac
(Refer to Sheet 8)
- Site is Zoned R-4
This Site is proposed to be developed as a Campus Mixed Use Development.
A conditional use is required
- Equitable Owner/Applicant:
Ponds Edge, LP
334 W. Front Street
Media, Pa 19063
- Contours from Aerial Topography provided by SDI, 29111 Newman Road, Easton, MD 21601. Contours based on U.S.G.S. vertical datum.
- Soils information from USDA Soil Survey for Chester and Delaware Counties.
- Public Water to be Provided by Aquia Pennsylvania Water Company. (Existing facilities are Located Within Baltimore Pike R/W at Property Frontage).
- Public Sanitary Sewers are Proposed. (Gravity Collection System to Sanitary Sewer Pump Station, Force Main to Existing Facilities of the Middletown Township Sewer Authority).
- Contemplated Uses:
211 Residential units and 2 retail buildings.
Area of Residential component = 53.40 Ac
Residential density = 3.95 units/Ac
Total floor area of commercial buildings = 31,250 SF
Area of Commercial Component = 3.981 Ac
- A geotechnical engineer shall be present to witness and take appropriate soil compaction tests for fill associated with road or townhome construction which is deposited in excess of 6 feet or deposited in areas over existing streams/channels.
- Proposed Roads to be built in accordance with Township Specifications.
- Pa.D.O.T. Highway Occupancy Permits will be required for the proposed accesses to Baltimore Pike (S.R. 0001).
- Pa. D.E.P. Sewage Facilities Planning Modules are required.
- An N.P.D.E.S. Permit is required for the discharge of stormwater runoff through a construction site.
- Proposed sanitary sewer system to be offered for dedication to the Middletown Township Sewer Authority.
Monuments to be placed at all Boundary corners and points of tangency of all roads.
- Wetlands Delineated during 2012 by Consetoga-Rovers & Associates, Consulting Ecologists, 410 Eagleview Boulevard, Suite 110, Exton, Pa 19341.
- In the event the Township Engineer shall find that under the as-built conditions, the provisions for drainage of the site require changes to protect streets, roads, private or public property, people, etc from excess drainage, flooding, silting, and safety hazards, the Developer shall install such additional drainage, safety features etc. as are necessary to correct the problem.
- There is no 100-Year Flood Plain on this parcel as shown on the Flood Insurance Rate Maps (FIRM), Delaware County, Pennsylvania, Panel 87 of 250 with a Map Number 42045C0087F and Panel 89 of 250 with a Map Number of 42045C0089F, both Maps dated November 18, 2009.
- Applicant shall amend existing traffic signal permit at Thomas Chevrolet Light. Signal cycles to be re-timed for proposed development.
- Applicant shall submit a PaDOT Highway Occupancy Permit for any work required within PaDOT ROW. (Note: Access/Decel lanes and protected left turn lanes for the Thomas Chevrolet traffic signal were previously installed).
- Soils engineer must be present during all filling operations and will approve all footing areas prior to the building inspector approval.
- The design engineer for the stormwater management design shall inspect the stormwater control during installation and shall provide a report that the improvements were installed correctly.

PLAN LEGEND

SHEET NO.	DESCRIPTION
1.	OVERALL PLAN
2.	RECORD PLAN
3.	RECORD PLAN
4.	RECORD PLAN
5.	LAYOUT PLAN
6.	LAYOUT PLAN
7.	LAYOUT PLAN
8.	EXISTING CONDITIONS PLAN
9.	GRADING PLAN
10.	GRADING PLAN
11.	GRADING PLAN
12.	UTILITY PLAN
13.	UTILITY PLAN
14.	UTILITY PLAN
15.	ROAD PROFILES PLAN
16.	ROAD & UTILITY PROFILES PLAN
17.	ROAD PROFILES PLAN
18.	ROAD & UTILITY PROFILES PLAN
19.	ROAD & UTILITY PROFILES PLAN
20.	ROAD & UTILITY PROFILES PLAN
21.	CONSTRUCTION DETAILS PLAN
22.	CONSTRUCTION DETAILS PLAN
23.	CONSTRUCTION DETAILS PLAN
24.	EROSION AND SEDIMENT CONTROL PLAN
25.	EROSION AND SEDIMENT CONTROL PLAN
26.	EROSION AND SEDIMENT CONTROL PLAN
27.	LANDSCAPE PLANS
28.	LANDSCAPE PLANS
29.	LANDSCAPE PLANS
30.	LANDSCAPE PLANS
31.	PLAYGROUND DETAILS
32.	ENHANCEMENT PLAN
33.	ENHANCEMENT PLAN
34.	ENHANCEMENT PLAN
35.	BUILDING DETAIL & CROSS SECTION PLAN

Note:

Applicant to install paved 80 ft diameter curb-de-soc bulbs at the terminus of Highpoint Drive and Eric Lane provided that the township obtains necessary rights-of-way or easements and requires to install. Construction to conform to township paving specs.



Note: All locations of existing utilities shown on the plan have been developed from existing utility records and / or above ground examination of the site. Completeness or accuracy of locations and depth of underground utilities or structures cannot be guaranteed. Contractor shall verify location, depth and location before any excavation or installation of utilities or structures. All work shall be done in accordance with the latest edition of the Pennsylvania Department of Transportation, Inc. Manual of Practice, 1996.

G.D. Houtman & Son, Inc. reserves its common law copyright and all other proprietary rights in these plans. All drawings, specifications and codes thereof are to remain property of G.D. Houtman & Son, Inc. They are to be used only in respect to the project. They are not intended or represented to be suitable for reuse by others or others an extension of project or any other project. First obtaining written permission by G.D. Houtman & Son, Inc. any reuse without written permission for the specific purpose intended will be at the third party's sole risk and without liability to G.D. Houtman & Son, Inc. The third party shall further indemnify and hold harmless G.D. Houtman & Son, Inc. from all claims, damages, losses and expenses arising therefrom or resulting therefrom.

DATE	REVISION
7/7/2013	PER REVIEW
8/2/2013	Per Township Comments
10/1/2013	Per Township Comments

SCALE
1"=100
March 1, 2013

OVERALL PLAN FOR
POND'S EDGE
MIDDLETOWN TOWNSHIP
DELAWARE COUNTY, PA

G.D. HOUTMAN & SON, INC.
CIVIL ENGINEERS-LAND SURVEYORS
LAND PLANNERS
130 EAST BALTIMORE PIKE MEDIA, PA 19063
(610)895-6302

Sheet 1 of 35
PROJECT: PONDSEDEGE
WORK ORDER: 35784
MN-05524

I hereby certify, to the best of my knowledge, the accuracy of this plan and details are in accordance with Act 367, known as the Professional Engineers Registration Law (P.L. 913, No. 367.63 P.S. 151), as amended.

I hereby certify to my usual and customary and professional care that this plan was prepared from an actual field survey performed under my immediate supervision and in accordance with the "Minimum standards of practice for professional land surveyors in the Commonwealth of Pennsylvania" as adopted by the Pennsylvania Society of Land Surveyors and that all the existing monuments, pipes, stones, etc., are as shown.

CROSSOVER EASEMENTS:

The following are condensed versions of the agreements. See the agreements for specific rights of this parcel and adjacent parcels.

- Vol. 745 page 1111; Reservation and Grant of Easements and Agreement with this parcel and the adjacent property previously owned by Ann M. Donovan. The agreement concerns the use of Donovan Drive, which is shown on the plan, and the right-of-way and easement to construct, install, erect, repair, restore and maintain pipes, berms, conduits, detention basin, retention basin and related facilities upon, over, across and through this parcel to accommodate storage, disburse and otherwise manage stormwater/ surface water emanating from the Granite Parcel (TP 27-27-007). The agreement also grants identical rights to the owner of the four parcels included within this parcel.
- Vol 3037 page 1472; Road Easement Agreement between the owners of this parcel and the owners of Folio #27-00-00100-01 (NOTE: Folio #27-00-00100-01 is located west of this site and does not directly adjoin this parcel). The owners of Folio #27-00-00100-01 is granted a fifty (50) foot wide right-of-way and easement for access partially across this parcel.
- Deed Book 1913 page 849; Rights granted for use of a 20' wide access easement located along the southerly portion of the site to the 40' wide access to Lemni Road.
- Deed Book 2451 page 849; Grants a 10' Wide walking Right-of-way to Middletown Township for ingress, egress and regress and to install, maintain, clean and repair a walkway from the terminus of Constance Drive through to Lands and Rose Tree School District. The limits of the right-of-way are shown on the plan and is located along the southerly side of the site.
- DB 675 page 159; Deed of Easement and agreement with Middletown Township for a ten (10') feet Wide Trail Easement into a portion of this site. The Easement is located along the southwesterly side of the site, adjacent to property owned by Middletown Township. The easement is plotted on the Plan.

Note for Those Plans Requiring a Developer's Agreement:

This plan incorporates the following agreements by reference and the development shown hereon is under and subject to all of the terms and conditions of those agreements with the same force and effect as if all of the terms and conditions of those agreements were set forth hereon at length:

- A Development Agreement by and between the Township of Middletown and _____ dated the _____ day of _____, 2013, as the same may be amended from time to time.
- An Improvement Security Agreement by, between and among the Township of Middletown, _____ dated the _____ day of _____, 2013, as the same may be amended from time to time.
- A Sanitary Sewer Agreement between Middletown Township, Delaware County, Sewer Authority and _____ dated the _____ day of _____, 2013, as the same may be amended from time to time.
- An Improvement Security Agreement by, between and among the Middletown Township, Delaware County, Sewer Authority, and _____ dated the _____ day of _____, 2013, as the same may be amended from time to time.
- A Declaration of Covenants, Conditions, and Restrictions by _____ dated the _____ day of _____, 2013.

Signature and Seal
Recorder of Deeds
G.D. Houtman & Son, Inc.
Delaware County Planning Commission