

BILL NO. 2025-10
ORDINANCE NO. 1191

AN ORDINANCE AMENDING CHAPTER 26 ZONING OF THE CODE OF ORDINANCES TO ADD A NEW SECTION 26-165 TITLED “CONTAINER HOMES” TO ADOPT PROVISIONS FOR THE REGULATION OF CONTAINER HOMES.

WHEREAS, the City Council of Butler, Missouri (“City) desires to update the Zoning Code as it lacks the definition of “Container Homes”; and

WHEREAS, the language of the Bill has been submitted to the Planning and Zoning Commission, which, after conducting a public hearing on the same which was properly noticed, has recommended that the City Council amend the Zoning Code of the City of Butler as provided herein; and

WHEREAS, the City Council has conducted a public hearing on this matter in compliance with Chapter 89 RSMo.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BUTLER, MISSOURI, AS FOLLOWS:

Section 1. That Chapter 26, Article VI, Division 1, of the Code of Ordinances of the City of Butler, Missouri, be, and hereby is, amended by adding a new section to be numbered, entitled, and read as follows:

Section 26-165 Container Homes.

(a) *Purpose.* The purpose of allowing Container Homes is to provide for additional construction and housing options in order for new construction on lots within the district to comply with modern zoning regulations and construction practices.

(b) *Definitions.*

- i. Container Home: A one-family manufactured, container, prefabricated, or modular type dwelling with a minimum combined floor area of 600 square feet that is connected to electric, sewer, and water utilities and affixed to a permanent foundation of masonry or concrete able to withstand winds of up to 90 miles per hour. Container Homes are required to have the affixed seal of the Missouri Public Service Commission as a container, prefabricated, or modular home. Storage sheds are not considered container homes and are therefore not allowed as a dwelling within City limits.

- (c) Container Homes shall be permitted in all residential zones in the City limits of Butler, however, only one Container Home is allowed per single lot.
- (d) Container Homes shall be painted and have one of the following materials for siding:
 - i. Ribbed metal siding.
 - ii. Smart board and batten.
 - iii. Smart lap siding.
 - iv. Cedar lap siding.
 - v. Combination of either ribbed metal or lap siding combo.
- (e) *Height, setback, yard and area requirements.*
- (f) To determine specific height, setback, yard, and area requirements for Container Homes, refer to the specific zoning district in the Code for which the Container Home is located. *Minimum requirements.* (e), the following are additional minimum requirements for Container Home construction and placement:
 - i. Living Space: Minimum square footage including all floors 600 square feet.
 - ii. Anchor: Container Home must be anchored to withstand minimum 90 mph wind load.
 - iii. Building Code: Container Home must meet current City adopted building code. Storage sheds are not accepted as a dwelling within the city limits of Butler.
 - iv. Building permits: Building permits and inspections are required for site work and foundations.
 - v. Container Homes shall be certified by an approved 3rd party inspector.

Section 2. If any section, subsection, sentence, clause, phrase, or portion of this ordinance is, for any reason, held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision and such holding shall not affect the validity of the remaining portions hereof.

Section 3. That the City Clerk is authorized by this Ordinance to correct any scrivener's errors identified within this Ordinance.

Section 4. That this ordinance shall take effect and be in force from and after its passage and approval.

Section 5. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

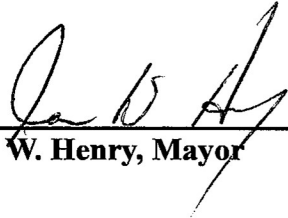
FIRST READING: November 18, 2025

SECOND READING: November 18, 2025

ROLL CALL VOTE:

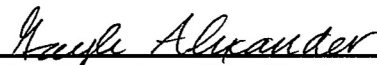
YEAS: 6
NAYES: 2

APPROVED BY THE CITY COUNCIL THIS 18TH DAY OF NOVEMBER 2025.



James W. Henry, Mayor

Attest:



Gayle Alexander, City Clerk